ROWAN COUNTY COMMISSION AGENDA
February 3, 2020 - 3:00 PM
J. Newton Cohen, Sr. Room
J. Newton Cohen, Sr. Rowan County Administration Building
130 West Innes Street, Salisbury, NC 28144

Call to Order

Invocation

Provided By: Chaplain Michael Taylor

Pledge of Allegiance

Consider Additions to the Agenda

Consider Deletions From the Agenda

Consider Approval of the Agenda

Board members are asked to voluntarily inform the Board if any matter on the agenda might present a conflict of interest or might require the member to be excused from voting.

- Consider Approval of the Minutes: January 6, 2020; January 10, 2020; and January 21, 2020

1 Consider Approval of Consent Agenda

A. Emergency Management Preparedness Grants Applications
B. Topaz Development, Inc. Settlement Agreement and Release
C. Martin Starnes & Associates - FY 2020 Audit Contract
D. Purchase of Vehicle for Facilities Management
E. Cooperative Extension/ 4H Shoot Sports Program NRA Grant
F. Rowan County 4H Grants
G. Lease Purchase Agreement Authorization Letter for South Salisbury Fire Department
H. Revised JCPC Funding Plan for FY '20
I. Appointment of County Manager's Designee for Juvenile Crime Prevention Council

2 Public Comment Period

3 Public Hearing for STA 02-19: Subdivision Street Standards

4 Public Hearing to Consider No Wake Zone for Emerald Bay Homeowners Association

5 Update Regarding Cardinal Innovations Healthcare

6 Parks Concession Stand/Offices Approval

7 Budget Amendments

8 Consider Approval of Board Appointments

9 Adjournment

Citizens with disabilities requiring special needs to access the services or public meetings of Rowan County Government should contact the County Manager's Office three days prior to the meeting by calling (704) 216-8180.

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM:
DATE:
SUBJECT: Provided By: Chaplain Michael Taylor

ATTACHMENTS:

Description	Upload Date	Type
No Attachments Available		

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Carolyn Barger, Clerk to the Board
DATE: January 24, 2020
SUBJECT: Consider Approval of the Minutes: January 6, 2020; January 10, 2020; and January 21, 2020

ATTACHMENTS:

Description	Upload Date	Type
January 6, 2020	1/24/2020	Cover Memo
January 10, 2020	1/24/2020	Cover Memo
January 21, 2020	1/24/2020	Cover Memo

Greg Edds, Chairman
Jim Greene, Vice- Chairman
Mike Caskey
Judy Klusman
Craig Pierce

Aaron Church, County Manager
Carolyn Barger, Clerk to the Board
John W. Dees, II, County Attorney

Rowan County Board of Commissioners
130 West Innes Street · Salisbury, NC 28144
Telephone 704-216-8180 · Fax 704-216-8195

MINUTES OF THE MEETING OF THE ROWAN COUNTY BOARD OF COMMISSIONERS
January 6, 2020 – 3:00 PM
J. NEWTON COHEN, SR. ROOM
J. NEWTON COHEN, SR. ROWAN COUNTY ADMINISTRATION BUILDING

Present: Greg Edds, Chairman
Jim Greene, Vice-Chairman
Mike Caskey, Member
Judy Klusman, Member
Craig Pierce, Member

County Manager Aaron Church, Clerk to the Board Carolyn Barger, County Attorney Jay Dees and Assistant County Manager/Finance Director Leslie Heidrick were present.

Chairman Edds convened the meeting at 3:00 p.m.

Chaplain Michael Taylor provided the Invocation.

Chairman Edds led the Pledge of Allegiance.

CONSIDER ADDITIONS TO THE AGENDA
Chairman Edds added the following items:

- Chewy CDBG-ED Grant Administration as Consent Agenda Item C
- Agreement for Services Between the Rowan County Sheriff's Department and Chaplain Michael Taylor as Consent Agenda Item D
- Proclamation Establishing January 20, 2020 as Dr. Martin Luther King, Jr. Day as Consent Agenda Item E
- Request from the Rowan County Health Department to Submit a Grant Application to the NC Department of Health and Human Services Office of Rural Health as Consent Agenda Item F

Chairman Edds moved to add two (2) additional topics to the Closed Session:

- Attorney-client privileged communication regarding possible litigation
- Discussion regarding an honorary recognition

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CONSIDER DELETIONS FROM THE AGENDA
There were no deletions from the agenda.

CONSIDER APPROVAL OF THE AGENDA
Commissioner Klusman made a motion to approve the agenda as amended. The motion was followed by a second by Commissioner Pierce and passed unanimously.

CONSIDER APPROVAL OF THE MINUTES
Commissioner Klusman moved, Commissioner Greene seconded and the vote to approve the minutes of the December 16, 2019 Commission Meeting passed unanimously.

1. CONSIDER APPROVAL OF CONSENT AGENDA
Commissioner Klusman moved approval of the Consent Agenda as amended. The motion was seconded by Commissioner Greene and passed unanimously.

The Consent Agenda consisted of the following:

A. FY20 ROAP Grant Application
B. Purchase of Tables and Chairs From Classroom Essential
C. Chewy CDBG-ED Grant Administration (Addition to the Consent Agenda)
D. Agreement for Services Between the Rowan County Sheriff's Department and Chaplain Michael Taylor (Addition to the Consent Agenda)
E. Proclamation Establishing January 20, 2020 as Dr. Martin Luther King, Jr. Day (Addition to the Consent Agenda)
F. Request from the Rowan County Health Department to Submit a Grant Application to the NC Department of Health and Human Services Office of Rural Health (Addition to the Consent Agenda)

2. PUBLIC COMMENT PERIOD
Chairman Edds opened the Public Comment Period to entertain comments from any citizens wishing to address the Board. The following individual came forward:

- Charles David Allen from China Grove discussed a problem he was having with a neighbor's sewer issue. Mr. Allen sought the Board's assistance and Chairman Edds said the County Attorney would contact Mr. Allen.

With no one else coming forward, Chairman Edds closed the Public Comment Period.

3. PUBLIC HEARING FOR Z 09-19
Planner Aaron Poplin presented the staff report for Z 09-19 and also provided a power point as he discussed the request. Mr. Poplin said Daniel Gomez and Karen Mendieta were requesting a rezoning of their properties located off US Hwy 52 to expand their business operations to include auto repair and used tire sales. They currently operate a used car dealership off Tax Parcel 542 045.

In 2013 Tax Parcels 542 045 and 542 044 were rezoned from RA to a CBI-CUD with the only allowed use being auto sales. There were no extra conditions attached to the zoning district and the parcels still had this zoning classification. Parcel 542 030 was zoned RA and had been vacant since around 2013; the last use of the property was for a mobile home, which was removed around 2013.

With regards to the request according to any plans and policies, Mr. Poplin said the Eastern Area Land Use Plan (LUP) encouraged commercial and industrial uses that had a need for rail and US Highway access in this area.

Using the power point, Mr. Poplin discussed the zoning district's purpose and intent.

Mr. Poplin said the application was for a CBI/CUD, which would only allow for the requested uses of continued automobile sales, the addition of an auto mechanics shop and a used tire shop. Using the power point, Mr. Poplin showed the location for the proposed uses.

The existing auto sales business was over 300' from the nearest residence, which exceeded the need for screening. The proposed use would come within 200' of a residence that would require Type A screening. Mr. Poplin discussed a 20' buffer area between a home site and a commercial use as required in the Zoning Ordinance. The buffer would comprise of a 20' buffer along with 100% opaque fencing.

Mr. Poplin highlighted any potential impacts on facilities such as roads, utilities and schools.

On November 25, 2019 the Planning Board held a courtesy hearing for the request and there were no concerns with the site as proposed. The Planning Board approved the request and adopted the following statements.

Statement of Consistency: Z 09-19 is consistent with the Eastern Land Use Plan based upon the identified use and attached site plan; furthermore, the adoption of Z 09-19 is reasonable and in the public interest based upon the same.

Statement of Reasonableness: In accordance with Section 21-362J of the Rowan County Zoning Ordinance and after due consideration, the Planning Board advises that Z 09-19 request is reasonable and in the public interest based upon the identified usage and compatibility with the Eastern Land Use Plan and the requested zoning.

Mr. Poplin noted staff's comments in the staff report indicating that since the request was a conditional district, the Board may want to suggest mutually agreed upon conditions to the request. Also, with a conditional district, only the uses and buildings shown on the site plan would be allowed. Changes to the buildings or uses would require another rezoning process.

Commissioner Klusman asked if the applicant would be required to have a septic system and Mr. Poplin said the matter would be an issue for consideration by the Environmental Health Department.

Chairman Edds expressed concern with the potential of used tires piling up and asked how the Board could protect the surrounding neighbors. Mr. Poplin said the Board could impose a condition stating no outside storage of tires as part of the approval process.

Chairman Edds also shared concerns that some repair shops had vehicles that were not repairable and collected behind those sites in a storage area. Mr. Poplin reiterated the Board could impose conditions that would not allow unrepairable vehicles to be collected on site.

Commissioner Pierce added that if the Board had concerns about the visibility, the Board could require screening from the roadside and from the neighbors.

Commissioner Caskey inquired as to whether there was a limit on the number of junked vehicles allowed. Mr. Poplin said there was a limit applied to residences but not for businesses of this nature.

County Attorney Jay Dees said in a conditional district the Board could cap the number of vehicles and the option would need to be agreed to by the applicant. Mr. Dees said the Board could impose a condition for no outdoor storage of tires.

The applicant, Daniel Gomez came forward. Mr. Gomez explained that customers would come in and have their tires changed and he would be open to sell the used tires.

Chairman Edds said the Board wanted to ensure the surrounding property owners the site would not become a junkyard. Mr. Gomez said the business was not planning to be a junkyard or keep old cars.

Mr. Gomez confirmed to Commissioner Klusman he would be willing to put up more screening if he had to.

In response to an inquiry from Commissioner Greene, Mr. Gomez said he had already sent in the paperwork for the entrance to the building and was hoping for approval by the State.

Mr. Poplin clarified to Commissioner Pierce that Staff could cite the business if it exceeded the number of vehicles allowed on the property but only if a condition was imposed by the Board during the approval process.

Chairman Edds said he did not want to put a limit on the total number of cars but was more concerned with the screening.

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Commissioner Pierce said he would like to put some type of limit on the number of vehicles in the event the number of vehicles became an issue. Commissioner Pierce felt the limit would give the Board recourse in the future for any violations.

Commissioner Greene said he would rather see a limit on the number of vehicles as opposed to requiring screening along the front of the property. Commissioner Greene said since Mr. Gomez was trying to start a business people needed to be able to see the business and services offered.

Commissioner Pierce agreed there should not be screening along the front of the business but wanted to see screening between the business and the neighbors.

Commissioner Pierce asked Mr. Gomez if he was agreeable to having a limit imposed on the number of cars that would be allowed on the property and Mr. Gomez said yes.

Chairman Edds suggested horizontal screening be required if vehicles were to be stored behind the well house that was depicted on the map.

Commissioner Klusman asked what number triggered the additional screening and Commissioner Pierce responded any vehicles stored behind the well house would require additional screening.

Chairman Edds opened the public hearing and with no one coming forward to address the Board, Chairman Edds closed the public hearing.

In response to an inquiry from Commissioner Caskey, Mr. Poplin said no citizen concerns had been expressed at the Planning Board meeting and Staff had not received any calls.

Chairman Edds moved approval of the Statement of Consistency as follows: Z 09-19 is consistent with the Eastern Land Use Plan based upon the identified use and attached site plan; furthermore, the adoption of Z 09-19 is reasonable and in the public interest based upon the same. The motion was seconded by Commissioner Pierce and passed unanimously.

Chairman Edds moved approval of the Statement of Reasonableness as follows: In accordance with Section 21-362(J) of the Rowan County Zoning Ordinance and after due consideration, the Planning Board advises that Z 09-19 request is reasonable and in the public interest based upon the identified usage and compatibility with the Eastern Land Use Plan and the requested zoning. The motion was seconded by Commissioner Pierce and passed unanimously.

Chairman Edds moved approval of Z 09-19 with the conditions as discussed. The motion was seconded by Commissioner Pierce and passed unanimously.

4. PUBLIC HEARING FOR Z 10-19

Shane Stewart, Assistant Planning Director, presented the staff report. The report stated Planning Staff had met with Bobby Harrison, a representative for the Price of Freedom Museum (Museum), concerning the Museum's desire to add a 4,800 square foot building for the storage of additional memorabilia.

According to Mr. Stewart, the Museum and Kenneth Seagle (Tax Parcel 207-052) were requesting the rezoning for the following 6.39 acres associated with their tax parcels: 207-007 (Museum) – 5.81 acres from Rural Agricultural (RA) to Institutional (INST) and .29 acres from RA to Rural Residential (RR); 207-052 (Seagle) - .29 acres from RR to INST. The Museum is located at 2420 Weaver Road in China Grove, NC.

Using a power point, Mr. Stewart showed the site in question, as well as the surrounding area.

Mr. Stewart said the site used to operate as the former Patterson School up until 1976. The Museum purchased the property from the Rowan-Salisbury School System (RSSS) approximately two (2) months ago.

Procedurally, Mr. Stewart said the request had received unanimous support from the Planning Board during its November 25, 2019 meeting. No one spoke in opposition to the rezoning at the meeting. The Planning Board adopted Statements of Consistency and Reasonableness, which were included in the agenda packet.

Commissioner Pierce moved approval of the Statement of Consistency as follows: Z 10-19 is consistent with the Western Land Use Plan based on the following: institutional district is a very exclusive zoning district set aside for public use and therefore matches the former use that was a school and the current use for a museum.
The motion was seconded by Commissioner Klusman and passed unanimously.

Commissioner Pierce moved approval of the Statement of Reasonableness as follows: In accordance with Section 21-361(J) of the Rowan County Zoning Ordinance and after due consideration, the Planning Board advises that Z-10-19 request is reasonable and in the public interest based on the following: a good reuse of an existing abandoned public school building as a public museum well fitting to the institutional zoning district. It is reasonable in that it creates a conforming zoning for the existing non-conforming use. The motion was seconded by Commissioner Klusman and passed unanimously.

Commissioner Pierce moved approval of Z 10-19. The motion was seconded by Commissioner Greene and passed unanimously.

5. CONSIDER REQUEST FROM EMERALD BAY HOMEOWNERS ASSOCIATION FOR NO WAKE ZONE

Mark Scott, President of Emerald Bay Homeowners Association (HOA), presented the request for a No Wake Zone (Zone) at High Rock Lake in the Panther Creek area. Mr.

Scott said the Emerald Bay Subdivision was located on the southeast corner of the County on Panther Creek and right next to the Eagle Point Nature Preserve.

Mr. Scott the HOA met in November and approved allowing him to represent the HOA in submitting the request to the Commissioners. Mr. Scott shared the safety concerns on Panther Creek, which included high speed boats, jet skis, and of greatest concern were the water skiers and boats pulling children on tubes. Mr. Scott said these users were creating safety hazard issues for the residents in the Emerald Bay Subdivision.

Mr. Scott said the HOA recommended a No Wake Zone in the vicinity of the Emerald Bay HOA Community Piers or at a location recommended by the North Carolina Wildlife Resources Commission (WRC).

Mr. Scott said the WRC had a process for approving No Wake Zones and he provided a handout for the process. Mr. Scott said the WRC did not accept applications from individuals or organizations and would only accept applications from municipalities and counties. Mr. Scott asked the Board to pursue the process with the WRC to obtain approval for the No Wake Zone for the safety issues.

In response to an inquiry from Commissioner Greene, Mr. Scott described the location of an existing Danger Buoy. Mr. Scott said the Danger Buoy was not in the channel but rather upstream in Panther Creek. Mr. Scott said the HOA was not asking for further action in the area of the Danger Buoy.

Mr. Scott reiterated the HOA was looking for a No Wake Zone for the community pier.

Chairman Edds explained the request was just the beginning of the process and the Board was not making a decision. The WRC would investigate and make a recommendation back to the Board. Chairman Edds said everyone would have an opportunity to provide input regarding the No Wake Zone at a public hearing to be scheduled by the Board.

County Attorney Jay Dees said someone would have to pay for the buoy and its ongoing maintenance. Mr. Scott added the HOA had also discussed the issue of payment.

Commissioner Pierce moved to accept the request from the HOA at Emerald Bay to move forward with the procedures to have a No Wake Zone presented to the WRC. Commissioner Pierce included in the motion to schedule a public hearing for February 3, 2019. The motion was seconded by Commissioner Klusman and passed unanimously.

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6. CONSIDER APPROVAL OF BOARD APPOINTMENTS

AGRICULTURAL ADVISORY BOARD

Michael Shepherd applied to fill a seat currently occupied by Darrell Nichols and that will become vacant on January 31, 2020. Mr. Nichols is not eligible for reappointment. The term will be for three (3) years and expire on January 31, 2023.

Commissioner Greene moved, Commissioner Pierce seconded and the vote to appoint Michael Shepherd passed unanimously.

HISTORIC LANDMARKS COMMISSION

Jonathan Barbee applied to fill a vacancy that will expire on April 30, 2020. At the conclusion of the term, Mr. Barbee would be eligible for reappointment for a three-year.

Chairman Edds moved, Commissioner Pierce seconded and the vote to appoint Jonathan Barbee passed unanimously.

PARKS AND RECREATION

Both Alex Bruce and Dennis Rogers have applied to fill one (1) at-large seat. The term will be for three (3) years and expire December 31, 2022.

Commissioner Klusman moved the appointment of Dennis Rogers. The motion was seconded by Commissioner Pierce and passed unanimously.

7. CLOSED SESSION

Chairman Edds moved at 4:00 p.m. for the Board to enter Closed Session pursuant to North Carolina General Statute 143-318.11(a)(3) for attorney-client privileged communication regarding a personnel matter and for attorney-client privileged communication regarding potential litigation, and North Carolina General Statute 143-318.11(a)(2) to discuss an honorary recognition. (Note: The latter two (2) topics were added to the Closed Session at the beginning of the meeting). The motion was seconded by Commissioner Pierce and passed unanimously.

The Board returned to Open Session at 4:22 p.m. No action was taken.

ADJOURNMENT

There being no further business to come before the Board, Commissioner Pierce moved to adjourn at 4:23 p.m. The motion was seconded by Commissioner Greene and passed unanimously.

Respectfully Submitted,

Carolyn Barger, MMC, NCMCC
Clerk to the Board

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Greg Edds, Chairman
Jim Greene, Vice- Chairman
Mike Caskey
Judy Klusman
Craig Pierce

Aaron Church, County Manager
Carolyn Barger, Clerk to the Board
John W. Dees, II, County Attorney

Rowan County Board of Commissioners
130 West Innes Street · Salisbury, NC 28144
Telephone 704-216-8180 · Fax 704-216-8195

MINUTES OF THE PLANNING WORK SESSION OF THE ROWAN COUNTY BOARD OF COMMISSIONERS
January 10, 2020 – 9:00 AM
J. NEWTON COHEN, SR. ROOM
J. NEWTON COHEN, SR. ROWAN COUNTY ADMINISTRATION BUILDING

Present: Greg Edds, Chairman
Jim Greene, Vice-Chairman
Mike Caskey, Member
Judy Klusman, Member
Craig Pierce, Member

County Manager Aaron Church, Clerk to the Board Carolyn Barger, and Assistant County Manager/Finance Director Leslie Heidrick were present.

Chairman Edds convened the meeting at 9:08 a.m.

Chaplain Michael Taylor provided the Invocation.

Chairman Edds led the Pledge of Allegiance.

CONSIDER APPROVAL OF THE AGENDA

- Commissioner Klusman requested the topic at 1:30 p.m. be changed from Funding for Smart Start to Funding for Substance Abuse.

- Commissioner Greene commented that Craig Lamb with Rowan-Cabarrus Community College (RCCC) was sick and someone from RCCC would be making a presentation on Mr. Lamb's behalf. Commissioner Greene said Mr. Lamb was scheduled to begin at 9:10 a.m. and he requested the Board consider moving RCCC's presentation to later in the day. The Board was agreeable to skipping to the next topic (STA 02-19: Subdivision Street Standards).

Commissioner Greene moved, Commissioner Klusman seconded and the vote to approve the agenda as amended passed unanimously.

WELCOME AND INTRODUCTION OF FACILITATOR
Chairman Edds welcomed everyone in attendance.

Chairman Edds introduced Julie Brenman, Facilitator, for the work session. Chairman Edds provided a brief biography for Ms. Brenman and welcomed her to the meeting.

Ms. Brenman said the better portion of the day would be spent going through the agenda topics and at the end of each presentation, she would capture the key takeaways. Ms. Brenman said the Board would prioritize the items at the conclusion of the day to help County Manager prepare the budget for the next fiscal year based on the Board's expectations.

At this point in the meeting, the Board moved ahead to discuss STA 02-19: Subdivision Street Standards.

STA 02-19: Subdivision Street Standards

Chairman Edds introduced the topic by noting at a prior meeting the Board had talked about adopting Appendix D into the Subdivision Ordinance. Since that time, meetings were held with experts and interested parties, as well as consulting with planning departments around the region. Rowan County staff from emergency services identified important issues for them:

- ***Road width*** is currently 18 feet and we are considering requiring 20 feet. We want to make sure maintenance of the proposed extra two feet (from 18 to 20 feet) is covered by NCDOT. Rowan County has limited water and sewer, so there are not many hydrants in the county for fire services and the extra two feet is important to emergency services.
- The other issue is related to cul de sacs. Our local emergency services staff says that 90 feet is adequate for cul de sacs.

Pat Ivey and his team from NCDOT came to talk about subdivision street design standards. NCDOT was invited to come help the Board better understand the issues and implications.

- 18 feet is the minimum in NCDOT code. Higher end subdivisions will have larger width. NCDOT will maintain whatever the county decides, as long as it is reasonable. 20 feet is reasonable. We have gone up to 22 feet. Sometimes speed increases with wider streets.
- The cul de sac would be quite large, but you will be fine. You will likely see more parking and basketball goals. Our current right of way will not encompass the full 90 feet to maintain drainage and driveways, etc. NCDOT doesn't own firetrucks, but for comparison, their dump trucks can turn in the standard 70 foot.

The Board noted the focus of this discussion is fire safety and access. We recognize there may be extra costs to developers; there are tradeoffs for living in the county with lower taxes and limited water utilities. We want to make sure our fire trucks can access and protect our county residents.

Key Takeaways:

- Rowan's proposal is reasonable for width of streets and cul de sacs
- NCDOT will pay for maintenance of streets
- Focus is fire safety and service

At this point, the Board went back to the first agenda item, Update For Better Jobs For Better Lives and also discussed the agenda topic for Education and Second Chance Training.

Better Jobs for Better Lives *and* Education and Second Chance Training

Commissioner Greene welcomed the attendees for the Better Jobs for Better Lives program. A team from Rowan Cabarrus Community College (Keri Allman - Director of Career Services, Tashina Mahatha, and a participant of the program (Cecilia) presented an update on the progress of the Better Jobs for Better Lives initiative. They noted that the needs had been changing across the county for career development services. The program started in 2013, using the **R**3 model: **R**efocus, **R**etrain, and **R**eemploy. It is not one size fits all. 90% of what the program does falls in the refocus realm, helping participants understand where they are and how they can connect with other opportunities.

The unemployment rate went down to 2.4% in September 2019 from 5.3% in January 2017. In spite of low unemployment, there has continued to be a high demand for the program. Close to 2000 citizens have been touched by the program since the Commissioners began supporting it three years ago (1974 is the exact number).

2017: 415 participants

2018: 597 participants

2019: 962 participants

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The most popular services offered include: career coaching; resume and interview clinics; foundational skills courses; adult basic education; GED prep; Work Keys Career Readiness Certification; Continuing Education Enrollment

The focus is on better jobs for people. Many were already working. We work with companies where there have been layoffs.

263 scholarships since 2017 – for healthcare, trucking, real estate, etc. (there are other sources of funding for additional scholarships). Transportation is also a need, particularly for people in outer parts of county. We have excellent partnerships for childcare.

The program received a 2019 innovation grant from the governor. We have been able to target individuals that are “justice involved” (recently incarcerated or have a criminal record). We have hired recruiters to reach out to target populations. We have over 200 Rowan County residents that are justice involved that have been receiving Better Jobs for Better Lives services. With the right message and right messengers, we have been seeing success and learning a lot.

The college has locations in some of our high schools to create awareness of our services, to understand the needs of high school students and to help them explore their career options as they are leaving high school. We also help the parents of high schoolers learn about their career options. The program is in multiple locations and is in demand. They are on the road and no longer have a storefront.

Cecilia, a program participant was laid off last year. She was able to be retrained as a real estate agent. She is a first-generation college graduate and has seen the benefit of the program.

Commissioner Klusman encouraged RCCC to partner with Teen Court – to reach out to kids that are just starting to get into trouble. This will help these kids get on the right track.

Chairman Edds noted we are all very busy building silos of excellence. He wants to make sure we are not duplicating efforts but building partnerships (school enrollment enlisted employed) – want RCCC to partner with the schools. This is related to recidivism in prisons. Odds are stacked against them. Almost 40% recidivism locally. Want to develop a plan to address recidivism to help them get connected and return to productive citizenship and gainful employment. Want to provide our residents hope. The work discussed in this program ties in with the idea of second chance training (originally listed on the agenda for discussion later in the day).

RCCC is planning for logistics training in the future. Correctional facility is offering training and we want to make sure the training matches the needs. Working to increase the number of second chance employers and looking at the “box” on employment applications to also help increase hiring of justice-involved individuals.

Commissioner Greene explained that when the Board had previously discussed the budget for FY 2019-20, he thought the Board had approved funding for the Better Jobs for Better Lives Program when in fact the Board had not allocated the funds. Commissioner Greene said the Commissioners now had a budget amendment before them concerning the funding.

Commissioner Greene moved approval of the budget amendment to fund the Better Jobs for Better Lives Program (the budget amendment was in the amount of $100,000 to transfer funds for RCCC’s Better Jobs for Better Lives Program). Commissioner Pierce said he would like to amend the motion to make sure the program was funded as a line item in next year’s budget - and from now on - to make sure the funding did not get left out. Commissioner Greene was agreeable to the amendment and upon being put to a vote, the amended motion passed unanimously.

Key Takeaways:

- 1974 clients served in the past three years
- 263 scholarships – most frequent request is for healthcare needs
- Need to Continue to build partnerships with other like-minded organizations
- Want to provide opportunities to reduce recidivism
- Innovation award to reach justice involved individuals
- Want to provide *hope* for all

Chairman Edds called for a break at 10:24 a.m.

Chairman Edds reconvened the meeting at 11:00 a.m.

Economic Development

Rod Crider, President of the Economic Development Commission, provided an update on the many economic development activities in the past year.

- 2019 new and expanded jobs: Chewy, Henkel, Innospec, Auto Group, Home Goods
- Expand Rowan Program continues – proactive initiative to

get out in front of our current employers. It is easier to keep a customer than gain a new one. We needed to do more to reach out to existing businesses in Rowan. We needed to demonstrate to existing businesses that we could provide value to them. We now have existing companies reach out to us when they have expansion opportunities so we can be a resource to them.

- Rowan County Manufacturing Network – help manufacturers get together to discuss common issues and to work together. Strengthen the local supply chain and access to employees.
- Have several hot projects in the hopper to bring more jobs and investment in Rowan County.
- Marketing initiatives: leverage membership in Charlotte Regional Business Alliance; market to site selection consultants; develop materials and attend trade shows. Add additional capacity to execute internal and external marketing campaigns
- Product development activities: developing Wallace Site in Landis – about to be certified by Electricity's; Rusher Site in East Spencer; High Bridge Development; Interest in other sites; National Brokers representing sites; Granite Quarry Spec Building
- I-85 improvements completed – will reduce travel time to Charlotte by 25% and spur additional development along the interstate corridor
- Workforce Development Activities: partner in Rowan County Education Collaborative. Workforce development is the number 1 issue in economic development.; Work in Rowan Wednesdays; pursuing ACT Work Ready Communities certification; MFG Day; Talent Attraction Guide
- Working with Networks – Charlotte, State, Centralina Workforce development board, NC Econ Developers Association; Working to enhance our partnerships to increase our impact
- Brand Identity and Story-telling: working with Your Rowan/Be an Original Initiative. About 30,000 visitors to the website. A lot of new people visiting the website to learn about Rowan County. Using social media and promoting a positive image.
- Will be doing a follow-up survey to our branding. Results will be ready in early February. 1300 responses received. Your Rowan will come do a report to the Board when the results are ready.
- Organizational Development: Forward Rowan, focusing on Increasing Prosperity, Reducing Poverty and Improving the Quality of Life. Branching out beyond government investment and seeking private sector to participate in our economic growth effort in Rowan.
    - 57% of businesses describe Rowan's economy as good. 37% as fair; 86% of businesses say community leaders are on the right track in terms of economic development
    - EDC effectiveness rated high by businesses

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EDC's Strategic Focus Areas include:

- Targeted Economic Growth
- Talent Attraction and Development
- Brand Identity and Storytelling
- High-Performance Service (internally)

The EDC has a goal of 2500 new jobs by 2024; Goal of jobs paying wages exceeding $33,000; attract $350 million in capital investment by 2024. This produces additional secondary jobs and investment.

Chairman Edds noted the county wants to continue to raise the bar – continue to increase wages, work with education collaborative, increase prosperity.

Commissioner Greene noted new jobs help create secondary jobs. 2500 new jobs generate 1265 secondary jobs. Those are just as important as the new jobs.

Commissioner Klusman asked how the EDC helps address poverty and prosperity. Mr. Crider noted they focus on bringing higher income jobs, but also on entry level jobs for people that are just entering the workforce. They are also working with the City of Salisbury to address some transportation issues, for example adding a route to the Chewy facility and adjusting the schedule to the Fresh House facility. Childcare is another issue that keeps people from working. They are doing a lot to partner with transportation and childcare providers. By being collaborative, they hope they can address all of these interrelated issues that impact our economy.

Commissioner Caskey shared his optimism about the current attraction and expansion projects. He personally recognizes the benefits of I-85 expansion and reduced commute time. With the renewal at the school system, more housing … do we think more people will start moving headquarters to Rowan? Mr. Crider noted headquarters are usually they are within city limits of Charlotte. Rowan is not quite there yet, but we are working toward it and have opportunities.

<u>Key Takeaways</u>:

- Successful job expansion and investment in Rowan
- Enhancing Networks and Partnerships to improve our impact and success
- 86% of businesses say community leaders are on the right track; 57% say economy is good
- Expand Rowan is helping us keep existing businesses

DRAFT

Long Term Goal for Water System

Chairman Edds introduced the topic. We have been discussing bringing water to northern and southern ends of the county for several years. Duke Energy ended up paying for the northern extension as part of a coal ash settlement. Once we recognized the exorbitant cost to reach the southern part of the county we developed an alternate solution with Kannapolis. We have about 150 customers on the northern water line and that is all. We vowed to the customers on the northern line that we are not seeking to profit off of them. We just returned a $150 check to each of the customers there. Duke Energy is out there and talking about water line extension. They have expressed interest in taking some of this water. It did not make financial sense for Duke Energy to get water from the County but Duke may be interested in taking some capacity from SRU. Probably good for all of us – generating commerce and profits.

What do we see as the future of the northern water line? There are reasons why we wanted to control this line, especially controlling growth outside of municipalities. Options for the Board to consider:

- Maintain this line (run by the City of Salisbury)
- Give this line over to Salisbury Rowan Utilities – but maintain our interest in growth in this area

Commissioner Pierce noted the big concern is not the water line itself but also drainage and sewer so industry can build their plants. Turning it over to SRU is not a problem; if it is financially feasible for Duke to tie on, then that is good. But I am interested in getting septic tied in as well. Need to identify the full scope of what we would like to see over the next 10 years.

Chairman Edds added that we have never had sewer on the east side of I85. We have had water there. Chewy hooked on to the water line before the county meter. (They are on city water.) When we talked about septic across I85, we came up with a price of $1.55 million. If we have a deal, CDBG will help pay for it. County is paying $50k; CDBG is paying the balance ($1.5 m). By March, sewer will for the first time ever be on the east side of Long Ferry Road. So, our next decision is do we extend sewer or wait for the next deal? Then we could wait for a new deal and more CDBG funding.

Commissioner Greene clarified that Salisbury-Rowan Utilities (SRU) is a city department of the city of Salisbury. He does not have interest in having a small line that is essentially run by SRU. We know we are not going to invest in a water processing plant. Water is the most important asset in terms of economic development. Decisions are often about rate. I do not want to take over the water system, but want to work hand

in hand with them about this important asset and how it will work in the future. This will drive development. We need to work with Salisbury for the future of Rowan County.

Manager Church noted when we started the northern line, we were also looking at doing a southern line. Now that we are not doing a southern line, High bridge development has been asked to be annexed by Kannapolis. So, some of the circumstances have changed.

Commissioner Caskey asked if there is an advantage to us having a water system if we want to expand. Manager Church said it helps us to extend to other places because we have already established that we have the ability to operate a water system. Commissioner Caskey requested more information before making a decision today.

Jim Behmer, SRU Director, provided some clarification about how the systems are treated from a state environmental and financial perspective.

Rowan's northern customers pay twice the rate of all other users on SRU system and the County had zero capital costs since Duke Energy paid for the line. If we expand, we will have capital costs in addition to operational. If we want to be competitive, we need to make decisions about the water line.

By consensus, the Board was agreeable to allow staff to begin conversations with SRU regarding the water line and to share findings with the full Board. Want to understand their plan if growth comes to the northern portion of the county, what will they do. This is our only opportunity to finance this moving forward. A possible end product will be to develop a Memorandum of Understanding (MOU) with SRU.

Key Takeaways:

- Competitive water prices are key for economic development
- Would like to talk to SRU about future of our water lines

LUNCH

Chairman Edds recessed the meeting at 12:34 p.m. for lunch.

Chairman Edds reconvened the meeting at 1:30 p.m.

EDUCATION AND SECOND CHANCE TRAINING

The Board discussed this topic earlier in the day during the Update for Better Jobs for Better Lives presentation.

DRAFT

Naming Policy for County Buildings and Rooms

Manager Church introduced the topic of a Naming Policy for County Buildings and Rooms. Individuals have come forward wanting to donate to have a room named after them. Most rooms or buildings that have names were named after public servants. County Attorney Jay Dees has done research on the topic. There are some precautions to take when naming facilities. The County currently does not have a policy. Would the Board like a policy created?

Attorney Dees shared that naming rights are a creative way to have private public partnerships where there is a private contribution to public facilities. The policies need to be designed so they are fair and open. We need to be able to navigate situations where a "bad actor" comes to donate and wants something named after them. The idea of a naming policy came up with the West Rowan Library fundraising efforts. Need to do it in a way that we do not end up with names we do not want associated with Rowan County.

The Commissioners agreed the Manager and Attorney could draft a policy for consideration. Commissioners noted a policy should:

- Give priority to generous benefactors.
- Policy would address the unique circumstances when someone wants their name on a building.
- Take into consideration past practices. For example, a park shelter is already named after someone. Think about what already has a name on it.
- Funding may be raised or donated. Amounts have to depend on what you are naming (e.g. shelter would require a different amount than a building).

<u>Key Takeaways:</u>

- Manager and Attorney can develop a policy for Board's consideration.

Funding for Substance Abuse

Commissioner Klusman provided two (2) handouts and shared information from United Way seeking support for a 6-8 bed detox center in Rowan County, noting it is very much needed. The County needs-assessment identified substance use as the number one issue for the county. The majority of our children in foster care are impacted by parental substance abuse. Overdoses are going down for opioids. We are getting really good at using Narcan to address overdoses but continue to see addiction to heroin and meth at high rates. There are more addicted babies – about 6 per month. Looking to work with United Way, Healthy Rowan, Health Department, Social Services Department to come up with ways to serve folks that are substance addicted.

Long term options:

- Detox center; Looking for grants in addition to government funds
- Substance abuse residential treatment programs for mothers and infants. Current treatment center cannot house mothers with babies.

Short term:

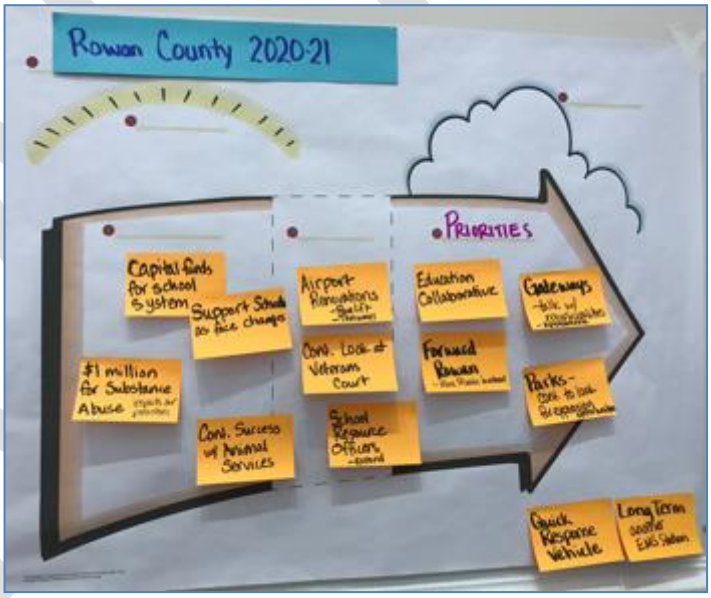
- Enhance peer support group employees with 2 FTE

<u>Key Takeaways</u>:

- Need additional funding for substance abuse treatment

Commissioner Priorities and Direction for FY 2020-21

The Commissioners shared their individual priorities for the coming year. They noted support to continue in the successful direction the County is currently taking. The individual priorities were not weighed against each other. The Manager will consider their priorities as he prepares the next fiscal year's budget.



- Capital funds for school system
- Support schools as they face challenges
- $1 million for substance abuse: impacts all of our priorities
- Airport renovations: facelift, taxiway
- Continue to look at Veteran's Court
- Expand School Resource Officers
- Continue success for Animal Services
- Lead Education Collaborative
- Forward Rowan: seek additional private investment
- Gateways: talk with municipalities; appearance is important
- Parks: continue to explore expansion opportunities

Longer term:

- Look at success of Quick Response Vehicle; will need an additional EMS station

Chairman Edds thanked Ms. Brenman for facilitating the work session.

DRAFT

ADDITION:

At this point in the meeting, Commissioner Caskey asked Chairman Edds if it would be possible to add a discussion concerning a ***Resolution to Preserve and Defend the Constitutions of the United States and North Carolina (Resolution)***. No objections were voiced to adding the discussion.

Commissioner Caskey said the Commissioners had been receiving emails and phone calls from citizens inquiring as to what was occurring with the Second Amendment. Commissioner Caskey referred to changes implemented by the Governor in the State of Virginia and the concern over those changes. Commissioner Caskey said both Virginia and North Carolina were in the same court circuit and things that are upheld in one state could affect the other state.

Commissioner Caskey continued by saying he had reviewed similar Resolutions adopted by other counties and as far as he was aware, the Board was in agreement with the Resolution in principle.

Commissioner Caskey provided a copy of the proposed Resolution, which he read as follows:

A RESOLUTION TO PRESERVE AND DEFEND THE CONSTITUTIONS
OF THE UNITED STATES AND NORTH CAROLINA

WHEREAS, the Constitution of the United States is the Supreme Law of our nation; and

WHEREAS, the Second Amendment to the United States Constitution states, “A well-regulated Militia, being necessary to the security of a free State, the right of the people to keep and bear arms, shall not be infringed;” and

WHEREAS, Article 1, Sec. 30 in the North Carolina Constitution states, “A well-regulated Militia, being necessary to the security of a free State, the right of the people to keep and bear arms shall not be infringed;” and

WHEREAS, it is further recognized that the Second Amendment to the Constitution guarantees that individuals have the right to keep and bear arms in a manner that shall not be infringed; and

WHEREAS, the Supreme Court of the United States has, through multiple rulings, upheld an individual's right to keep and bear arms when federal, state, and local laws have sought to restrict this right; and

WHEREAS, the right to bear arms is a fundamental right for self-defense, the defense of others including family members, the protection of individual liberty, and for the preservation of our United States and the Constitution; and

WHEREAS, it is acknowledged that the right of individuals to keep and bear arms is under attack in the United States of America by elected officials from multiple levels of Government; and

WHEREAS, the illegal misuse of firearms is not a reason to infringe upon the Constitutional rights of the law-abiding citizens of Rowan County; and

WHEREAS, the members of the Rowan County Board of Commissioners have taken an oath to defend and uphold the Constitutions of the United States and of North Carolina; and

WHEREAS, the Rowan County Board of Commissioners wishes to express its deep and abiding commitment to protecting all Constitutional rights of Rowan County Citizens and stands opposed to any law, regulation, or other act that would unconstitutionally infringe on the citizens' second Amendment Rights.

NOW, THEREFORE, BE IT RESOLVED, the Rowan County Board of Commissioners declares that it stands as a county that will respect, protect and defend the Second Amendment rights of Rowan County's Citizens. The board will oppose, within the limits of the Constitutions of the United States and the State of North Carolina, any efforts to unconstitutionally restrict such rights, and to use such constitutional means at its disposal to protect the rights of its citizens to keep and bear arms.

FURTHERMORE, the Rowan County Board of Commissioners implores the United States Congress and North Carolina Legislature to preserve, uphold, and protect the rights of all law-abiding citizens to keep and bear arms under the United States Constitution and reject any provision, law, or regulation that may infringe, have the tendency to infringe, or place any additional burdens on those rights.

Adopted this 10th of January, 2020, by the Rowan County Board of Commissioners.

After reading the Resolution, Commissioner Caskey moved approval of the Resolution followed by a second from Commissioner Pierce.

Commissioner Klusman wanted to make it clear to her friends who worked in the domestic violence area, that under the law if someone was convicted of domestic violence and the judge ordered the removal of all firearms, the order would still be legal.

Chairman Edds said the Commissioners were staunch supporters of the Second Amendment to the Constitution of the United States and also Article I Section 30 of the North Carolina Constitution. Chairman Edds said the Commissioners believed, "We are a free people and that as such we have a right to defend ourselves as a free people." Chairman Edds continued by saying, "We are for the lawful use of firearms and do not defend in any way unlawful use." Chairman Edds said on behalf of the Board, Rowan County wanted to be a community that valued the right to self-defense, valued the Second Amendment under the Constitution and Article 1 Section 30 of the North Carolina Constitution.

Chairman Edds stressed the decision had been an easy one for the Commissioners. Chairman Edds recalled the issue also came up in Rowan County in 2013.

Commissioner Caskey referred to the 2013 resolution and said the Board had also passed a resolution during that timeframe to take the position the Board did not think it was proper for concealed carry holders information to be made public.

Upon being put to a vote, the motion on the floor passed unanimously.

DRAFT

ADJOURNMENT

There being no further business to come before the Board, Commissioner Pierce moved to adjourn at 2:30 p.m. The motion was seconded by Commissioner Greene and passed unanimously.

The above summary was prepared by Julie Brenman, Facilitator, of Fountain Works, with contributions by the Clerk to the Board, and is hereby adopted as the official minutes of the Board of Commissioners Annual Planning Work Session held on January 10, 2020.

Respectfully Submitted,

Carolyn Barger, MMC, NCMCC
Clerk to the Board

DRAFT

Greg Edds, Chairman
Jim Greene, Vice- Chairman
Mike Caskey
Judy Klusman
Craig Pierce

Aaron Church, County Manager
Carolyn Barger, Clerk to the Board
John W. Dees, II, County Attorney

Rowan County Board of Commissioners
130 West Innes Street · Salisbury, NC 28144
Telephone 704-216-8180 · Fax 704-216-8195

MINUTES OF THE MEETING OF THE ROWAN COUNTY BOARD OF COMMISSIONERS
January 21, 2020 – 6:00 PM
J. NEWTON COHEN, SR. ROOM
J. NEWTON COHEN, SR. ROWAN COUNTY ADMINISTRATION BUILDING

Present: Greg Edds, Chairman
Jim Greene, Vice-Chairman
Mike Caskey, Member
Craig Pierce, Member

Absent: Judy Klusman, Member

County Manager Aaron Church, Clerk to the Board Carolyn Barger, County Attorney Jay Dees and Assistant County Manager/Finance Director Leslie Heidrick were present.

Chairman Edds convened the meeting at 6:00 p.m.

Chaplain Michael Taylor provided the Invocation.

Chairman Edds led the Pledge of Allegiance.

Chairman Edds mentioned that Commissioner Klusman was recovering from neck surgery and he expressed hope she would be back soon.

CONSIDER ADDITIONS TO THE AGENDA
Chairman Edds added the following items:

- Request from Planning Staff to schedule public hearing for February 3, 2020 for STA 02-19 – added as Consent Agenda item M
- Change Order for the Rowan Public Library West Branch – added as Consent Agenda item N
- Change Order from Morgan Architecture for Ellis Park Kitchen – added as Consent Agenda item O

CONSIDER DELETIONS FROM THE AGENDA
There were no deletions from the agenda.

DRAFT

CONSIDER APPROVAL OF THE AGENDA
Commissioner Pierce moved, Commissioner Greene seconded and the vote to approve the agenda passed unanimously (4-0).

1. CONSIDER APPROVAL OF CONSENT AGENDA
Commissioner Pierce moved approval of the Consent Agenda as amended. The motion was seconded by Commissioner Greene and passed unanimously (4-0).

The Consent Agenda consisted of the following:

A. 2020 NCPLDA Scholarship Grant Application
B. Affidavit to Cure Title Issues Related to Former Belk and JC Penney at West End Plaza
C. 2020 Margaret C. Woodson Foundation Grant Submission Request
D. 2020 Robertson Family Foundation Grant
E. Tax Refunds for Approval
F. 2020 Update for The Jail Medical Plan
G. Consider Task Order With McGill & Associates For Sewer Inspection At West End Plaza
H. Language Access Plan
I. Administrator for Juvenile Crime Prevention Council
J. Salisbury-Rowan Community Action Agency's Community Services Block Grant for FY 2020-21
K. Services Agreement For Survey Work for Animal Control and New Convenience Center
L. Cleveland EMS Station – Change Order #1
M. Request from Planning Staff to schedule public hearing for February 3, 2020 for STA 02-19 (Addition to the Consent Agenda)
N. Change Order for the Rowan Public Library West Branch (Addition to the Consent Agenda)
O. Change Order from Morgan Architecture for Ellis Park Kitchen (Addition to the Consent Agenda)

2. PUBLIC COMMENT PERIOD
Chairman Edds opened the Public Comment Period to entertain comments from any citizens wishing to address the Board. The following individuals came forward:

- Alvin Merritt of West Ridge Road shared transportation issues he had encountered. Mr. Merritt asked whether it was illegal to ride a powered chair on the street. Sheriff Kevin Auten was in the audience and said he would speak with Mr. Merritt to address his questions.

With no one else coming forward, Chairman Edds closed the Public Comment Period.

DRAFT

3. DISCUSSION OF SHELTER GUARDIAN PROJECT AND SOLID WASTE CONVENIENCE RE-LOCATION TIMELINE

County Manager Aaron Church discussed the timeline for a new facility to be constructed at Animal Services, as well as the timeline for a new road and the relocation of a new Convenience/Recycling Center off Julian Road.

Mr. Church stated the facility proposed at Animal Services was for a new dog wing that would be constructed and paid for by Shelter Guardians. According to Mr. Church, Shelter Guardians had raised quite a bit of money to build the new dog wing where the existing Convenience Center was located. Mr. Church said Shelter Guardians was getting close to being ready to proceed; however once construction for the dog wing began, the Convenience/Recycling Center would not be able to operate in its current location at 1455 Julian Road.

Mr. Church said there were two (2) main options for the Board's consideration. The first option was to go ahead and start construction for the new road and new Convenience Center, leaving the current Convenience Center in operation so there would not be any disruption of services to the citizens. The issue with the first option was that construction costs for the new dog wing could potentially go up.

The second option presented by Mr. Church was to close the current Convenience Center during construction of the new center and the new road. The construction was estimated to take approximately nine (9) months. The second option allowed for the construction of all three (3) projects at the same time but would cause a disruption to the citizens who utilized the Julian Road Convenience Center.

Caleb Sinclair, Director of Environmental Management, provided a power point that included a map of the existing Convenience Center sites around the County. Mr. Sinclair pointed out the Julian Road location was the busiest and most frequented site.

To take help with the burden of the Julian Road displacement Mr. Sinclair recommended the Board consider extending the days and hours of operations at other sites, and to utilize existing staff as outlined below:

Location	**Current Schedule**	**Proposed Schedule**	**Service Increase**
Rock Grove Church Rd.	Mon, Fri, Sat 7AM-7PM	Mon through Sat 7AM-7PM	3 Days
Providence Church Rd.	Mon. 7AM-7PM	Mon, Fri, Sat 7AM-7PM	2 Days
Woodleaf Rd.	Mon, Fri, Sat 7AM-7PM	Mon through Sat 7AM-7PM	3 Days
Stokes Ferry Rd.	Fri, Sat 7AM-7PM	Mon, Fri, Sat 7AM-7PM	1 Day

Mr. Church pointed out that while there would be an inconvenience for a small time period, it was important to remember the County was building a state-of-the-art Convenience Center in the middle of the County with a brand new road to the site.

Commissioner Pierce felt the Board should agree on a date for Shelter Guardians to be able to plan to start construction. Mr. Sinclair said April 1, 2020 should allow ample time to notify the public of the changes that were forthcoming.

Commissioner Pierce moved to accept plan (option) #2, which would move the Convenience Center and extend the hours at the other convenience centers; and give Shelter Guardians a date to start construction of April 1, 2020. The motion was seconded by Commissioner Caskey and passed unanimously (4-0).

4. ADJOURNMENT

There being no further business to come before the Board, Commissioner Pierce moved to adjourn at 6:25 p.m. The motion was seconded by Commissioner Greene and passed unanimously (4-0).

Respectfully Submitted,

Carolyn Barger, MMC, NCMCC
Clerk to the Board

DRAFT

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: TJ Brown, Emergency Management Division CHief
DATE: 01/22/2020
SUBJECT: Emergency Management Preparedness Grants Applications

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Rowan County has used preparedness grants for several years to maintain and improve emergency preparedness goals. The Emergency Services Department seeks authorization to apply for 4 Emergency Management Preparedness grants. North Carolina Emergency Management (NCEM) has consolidated the process for grants applications.

Rowan County Emergency Services respectfully recommends approval to apply for grant funding under the NCEM consolidated process. Applications will be for the Emergency Management Performance, Hazardous Materials Emergency Preparedness, North Carolina Tier II (competitive), and North Carolina Tier II (non-competitive) grants.

ATTACHMENTS:

Description	Upload Date	Type
Combined Grants Application_BOC Approval Request	1/22/2020	Cover Memo

ROWAN COUNTY EMERGENCY SERVICES
EM DIVISION
Be an original.
2727 Old Concord Rd, Suite E, Salisbury, NC, 28146-8388
[p] 704-216-8900 **[f]** 704-216-8921

To: Rowan County Board of Commissioners

From: TJ Brown, Emergency Management Division Chief

Date: January 22, 2020

Re: Emergency Management Preparedness Grants Applications

Background:
Rowan County has used preparedness grants for several years to maintain and improve emergency preparedness goals. North Carolina Emergency Management has consolidated the process for grants applications. Applications for the Emergency Management Performance, Hazardous Materials Emergency Preparedness, Homeland Security Program, North Carolina Tier II (competitive), and North Carolina Tier II (non-competitive) grants are now accomplished using a single form and submitted simultaneously.

Objective:
Rowan County Emergency Services seeks authorization to apply for the Emergency Management Preparedness grants summarized below:

1. Emergency Management Performance Grant
    a. Amount: Variable depending on State award
    b. Purpose: Rowan County uses these funds to partially fund the Emergency Manager salary and to accomplish several preparedness plans and projects. The purpose of the EMPG is to provide federal funds to states to assist state, local, territorial, and tribal governments in preparing for all hazards events, as authorized by Section 662 of the Post Katrina Emergency Management Reform Act. EMPG funding is used to support a whole community approach to strengthen a state or community's emergency management program. Funds will also be used to purchase equipment to provide additional back-up mobile data connectivity for use on incidents.

2. Hazardous Materials Emergency Preparedness
    a. Amount: $9,600
    b. Purpose: Rowan County has received this grant previously and seeks to continue the development of emergency response plans for 12 facilities containing hazardous materials. Completed plans will be included in the Rowan County Emergency Operations Plan and will be compliant with State and Federal requirements. Additionally, all plans will be made available to all emergency response agencies in the County.

ROWAN COUNTY EMERGENCY SERVICES
EM DIVISION
Be an original.
2727 Old Concord Rd, Suite E, Salisbury, NC, 28146-8388
[p] 704-216-8900 **[f]** 704-216-8921

3. North Carolina Tier II (competitive)
    a. Amount: $10,000
    b. Purpose: Rowan County Emergency Services and the Local Emergency Preparedness Committee will host an Annual Responder Preparedness Conference. This will be a one-day conference held for first responders to receive hazard updates, Emergency Operations Plan training, and coordinate administrative requirements for local and state readiness requirements. The end goal is to keep first responders informed and prepared for known Hazardous Materials risks, and overall all-hazards readiness. Funds will also be used to provide an upgrade for the Rowan-Salisbury HazMat Team's detection and monitoring equipment.

4. North Carolina Tier II (non-competitive)
    a. Amount: $1,000
    b. Purpose: Rowan County Emergency Services and the Local Emergency Preparedness Committee will design and distribute Citizen Information Cards. This will be a double-sided post card for distribution to citizens to provide post-emergency information. Content will include a local resource roster, damage reporting instruction, and a checklist for recovery actions. Cards will be given to local response agencies to hand out to citizens at the point of need. The end goal is to provide citizens with useful, local post-emergency guidance.

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Finance Department
DATE: January 24, 2020
SUBJECT: Topaz Development, Inc. Settlement Agreement and Release

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Please see the attached Settlement Agreement and Release between Rowan County and Topaz Development, Inc.

Please accept the attached Agreement.

ATTACHMENTS:

Description	Upload Date	Type
Settlement Agreement and Release	1/24/2020	Backup Material

John T. Kong
Paralegal
Raleigh Office
jkong@teaguecampbell.com

January 15, 2020

Nick Childers, Risk Manager
Rowan County
Administration Building
130 W Innes Street
Salisbury, NC 28144

RE: Topaz Development, Inc. v. Cabarrus County and Rowan County

Dear Mr. Childers:

Enclosed, please find three original Settlement Agreements to be executed by the appropriate person. Once the Agreements have been signed and notarized, please return them in the enclosed self-addressed stamped envelope.

Do not hesitate to contact me should you have questions.

Sincerely,

John T. Kong
Paralegal

Encls.

SETTLEMENT AGREEMENT AND RELEASE

THIS SETTLEMENT AGREEMENT AND RELEASE ("Settlement Agreement") is entered into effective the 18 day of December, 2019, by and among:

PLAINTIFF: Topaz Development, Inc.

SETTLING DEFENDANTS: Cabarrus County and Rowan County

RECITALS

A. The Plaintiff in this case alleges a genuine controversy concerning whether real property, known as the Archer Ridge Subdivision, is located in Cabarrus or Rowan County and regarding the location of boundary line between Rowan and Cabarrus Counties (the "Line") as it pertains to Archer Ridge Subdivision. The Archer Ridge Subdivision (the "Subdivision") is located along Archer Road which runs in an east-west direction through the southwest corner of Rowan County and the northwest corner of Cabarrus County.

Plaintiff purchased the land for the Subdivision in 2006 and title was conveyed by deed recorded in Deed Book 1076, Page 652 Rowan County Registry and Deed Book 7042 Page 1, Cabarrus County Registry (collectively referred to herein as the "Real Property").

Rowan County approved the final plat for Phase 1 of the Subdivision. Rowan County and also approved Phase 2 of the Subdivision. Plaintiff alleges Cabarrus County and Rowan County provided contradictory decisions regarding the location of Lots 1 and 37 in Phase 1, and Lots 38 and 39 in Phase 2 of the Subdivision with Cabarrus County claiming the lots were in Cabarrus County and Rowan County claiming the lots were in Rowan County ("the disputed lots"). Phase 3 of the Subdivision has been delayed awaiting resolution of whether the disputed lots were located in Cabarrus or Rowan County.

In 2010, Cabarrus County and Rowan County began discussions to resolve the dispute over the location of the county boundary line and they requested that the N.C. Geodetic Survey office study the location of the Line between Rowan County and Cabarrus County. In 2015, the Geodetic Survey office issued a report which indicated that all of the Real Property for the entire Subdivision was located in Rowan County.

Plaintiff alleges that due to an overlap in the official Cabarrus County and Rowan County boundary lines, some tax parcels owned by Plaintiff were being assessed by both counties for property taxation.

Plaintiff alleges that Plaintiff has been unable to obtain approval from Rowan County for Phase 3 of the Subdivision and has been unable to develop Phase 3 of the Subdivision for over twelve years.

As a result of the above events, other activities and alleged wrongs, Plaintiff filed a civil action in Rowan County Civil Superior Court, File 19 CVS 1444 captioned as *Topaz Development, Inc. v. Cabarrus County and Rowan County*, seeking declaratory relief, compensatory damages and attorneys' fees. Defendants do not admit any wrongdoing (herein the "Civil Action").

B. Cabarrus County and Rowan County (hereinafter "Settling Defendants") and Plaintiff, Topaz Development, Inc., desire to enter into this Settlement Agreement and Release to provide for full settlement and discharge, upon the terms and conditions set forth below, of any and all claims made by each party against the other and also by reason of the events and incidents described in the complaint filed in 19 CVS 1444. Cabarrus County and Rowan County (hereinafter "Settling Defendants") and Plaintiff, Topaz Development, Inc. are referred to collectively as the "Parties".

C. As used herein, the terms "Plaintiff", "Settling Defendants", and "Parties" shall include said terms as well as their past, present and future agents, servants, employees, insurers, representatives, assigns, successors, heirs, executors, administrators, employers, officers, partners, directors, stockholders, attorneys, principals, predecessors, architects, designers, engineers, suppliers, inspectors, parent and sister companies and affiliated entities, privies, subsidiaries, affiliates and subcontractors.

D. As used herein, "Claims" shall mean the claims asserted by Plaintiff against Defendants which are more particularly described in the complaint filed in 19 CVS 1444, Rowan County Clerk of Superior Court, and captioned as *Topaz Development, Inc. v. Cabarrus County and Rowan County.* but the term "Claims" shall not include matters solely between Cabarrus County and Rowan County which pertain to other parts of the common boundary line between said counties that do not pertain to Plaintiff.

AGREEMENT

The parties agree as follows:

1. Release and Discharge

1.1 Topaz Development, Inc. (Plaintiff), for and in consideration of the mutual promises herein, does hereby completely release, acquit and forever discharge Cabarrus County and Rowan County (hereinafter "Settling Defendants") from all Claims as defined herein.

1.2 The Parties, for and in consideration of the mutual promises herein, do hereby release and forever discharge each other from all Claims as defined herein.

2. Terms of Agreement

In consideration of the releases set forth above, the Parties hereby agree:

a) The Real Property is located entirely in Rowan County and the NC Geodetic line is located in relation to the disputed lots as shown on the attached map attached as Exhibit A;

b) Rowan County shall be the jurisdictional agency for issuing zoning and building permits and all other permits and approvals related to the Real Property and Archer Ridge Subdivision;

c) This Agreement is intended to settle any and all claims and disputes relating to the Real Property and the entire Subdivision and whether the Real Property and the entire Subdivision is located in Cabarrus County or Rowan County;

d) To release the Real Property and the entire Subdivision to Rowan County and its jurisdiction;

e) Cabarrus County hereby releases and assigns to Rowan County any unpaid real property ad valorem tax bills on tax PIN Nos. 4684-43-4805, 4684-53-0814 and 4684-63-7716.

f) Rowan County shall be the jurisdictional agency for issuing zoning and building permits related to the Real Property and the entire Subdivision;

g) Rowan County shall provide planning approval for all Phases, including Phase 3 of the Subdivision, and final plat approvals with no additional fees for fully buildable single-

family residential lots wholly in Rowan County provided that such plat and/or plans meet Rowan County planning and zoning standards and ordinances;

h) The Parties will file a voluntary dismissal with prejudice in this action; and

i) This Agreement settles only the issues as to whether the Real Property and the Subdivision are located in Cabarrus or Rowan County and, in doing so, it settles only the location of the Cabarrus-Rowan County line as it pertains to the Real Property and the Subdivision. This Agreement does not settle or purport to settle the location of any remaining common boundary line of Cabarrus and Rowan Counties.

3. Attorneys' Fees

Each party hereto shall be solely responsible for payment of such party's own attorneys' fees and costs in connection with the Civil Action.

4. Legal and Tax Advice

In entering into this Settlement Agreement, the Parties have relied solely upon their own attorneys for advice in connection with the Settlement Agreement.

No additional promise or agreement has been made as consideration for this Settlement Agreement other than set forth herein and that the signing thereof has not been induced by any representations of any Party herein.

5. Warranty of Capacity to Execute Agreement

Each Party represents and warrants that, except as otherwise set forth herein, no other person or entity has or has had any interest in the claims, demands, obligations, or causes of action referred to in this Settlement Agreement and Release, and that they have the sole right and exclusive authority to execute this Settlement Agreement and Release; and that none of the Claims, demands, obligations, or causes of action referred to in this Settlement Agreement and Release have been sold, assigned, transferred, conveyed or otherwise disposed of.

Each Party represents and warrants that it has the authority to enter into this Agreement and that all necessary consents, approvals and authorizations required to bind it has been obtained.

6. Governing Law

This Settlement Agreement was entered into in North Carolina and shall be construed and interpreted in accordance with the laws of the State of North Carolina.

7. **Entire Agreement**

This Settlement Agreement and Release contains the entire agreement between the Plaintiff, the Settling Defendants and the Released Parties herein with regard to the matters set forth in it and shall be binding upon and inure to the benefit of the Plaintiff, the Settling Defendants and Released Parties herein. This Settlement Agreement may be executed in counterparts, each of which shall be deemed an original and, together, shall constitute one and the same agreement. Scanned, emailed, "pdf", and/or facsimile transmissions shall be treated as an original signature.

8. **Effectiveness and Electronic Signature**

This Settlement Agreement shall become effective immediately following execution by all Parties hereto. This Settlement Agreement may be signed in multiple counterparts by facsimile or email and each shall be considered an original. Originals shall be provided upon request.

CONSENTED AND AGREED TO THE DAY AND YEAR FIRST ABOVE WRITTEN:

TOPAZ DEVELOPMENT, INC.

Date: 12/18/14

By: _____
President

CABARRUS COUNTY

Date: 1-7-20

By: _____

Name: Michael K Downs

Title: County Manager

ROWAN COUNTY

Date: _____

By: _____

Name: _____

Title: _____

STATE OF NORTH CAROLINA
COUNTY OF CABARRUS

I, **SAVANNAH TUTTLE**, do hereby certify that **JAMES RIZZO** personally appeared before me this the 18 day of December, 2019 and acknowledged that he is the **President** of **TOPAZ DEVELOPMENT, INC.**, a North Carolina corporation, and that he as **President** being authorized to do so, executed the foregoing on behalf of the corporation.

Witness my hand and official seal this the 18 day of **December, 2019.**

Savannah Tuttle

Savannah Tuttle- Notary Public

SAVANNAH TUTTLE
Notary Public, North Carolina
Cabarrus County
My Commission Expires
July 19, 2024

My Commission Expires: 7-19-2024

STATE OF NORTH CAROLINA
COUNTY OF Cabarrus

I, Lauren Linker, a Notary Public of Alleghany County and State of North Carolina, do hereby certify that Michael Downs, the County Manager for **CABARRUS COUNTY**, a North Carolina body politic and corporate, personally appeared before me this day and by authority duly given, acknowledged the due execution of the foregoing instrument on behalf of Cabarrus County.

Witness my hand and official seal this the 7th day of ~~**December, 2019.**~~ January, 2020

Lauren Linker

Lauren Linker - Notary Public

LAUREN LINKER
NOTARY
Comm. Exp.
6-8-21
PUBLIC
ALLEGHANY COUNTY, NC

My Commission Expires: 6-8-21

STATE OF NORTH CAROLINA
COUNTY OF _____

I, _____, a Notary Public of _____ County and State of North Carolina, do hereby certify that _____, the _____ for **ROWAN COUNTY**, a North Carolina body politic and corporate, personally appeared before me this day and by authority duly given, acknowledged the due execution of the foregoing instrument on behalf of Rowan County.

Witness my hand and official seal this the _____day of **December, 2019.**

_____

_____- Notary Public

My Commission Expires: _____

These 3 Parcels, highlighted in blue, are owned by Topaz Development Inc

This green line is the NC Geodetic Survey Line

ARROW POINT LN

LANTANA CT

ARCHER RD

COLUMBUS ST

ALEXANDER RD

46844308930000

46844348050000

46845308140000

46844385660000

46845305790000

46845325390000

46845365020000

46844343150000

46845313550000

46844372960000

46845311560000

46844209500000

46844118050000

46845251390000

46846306770000

46846337890000

46846377160000

46846333710000

46846310680000

46846218100000

46846216930000

46846236880000

46846256680000

46846242750000

46846385670000

46846382600000

46846361760000

46847420330000

46847400920000

46847430230000

46847440900000

46847377450000

46847335660000

46847375530000

46847360010000

46847236400000

46849137780000

EXHIBIT

A

tabbies

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Finance Department
DATE: January 23, 2020
SUBJECT: Martin Starnes & Associates - FY 2020 Audit Contract

---

Please see the attached contract between Rowan County and Martin Starnes & Associates, CPAs, P.A. for the fiscal year 2020 audit.

Please approve the attached contract.

ATTACHMENTS:

Description	Upload Date	Type
Audit Contract	1/23/2020	Backup Material

CONTRACT TO AUDIT ACCOUNTS

The

Governing Board
Board of Commissioners

of

Primary Government Unit (or charter holder)
Rowan County, NC

and

Discretely Presented Component Unit (DPCU) (if applicable)
N/A

Primary Government Unit, together with DPCU (if applicable), hereinafter referred to as Governmental Unit(s)

and

Auditor Name
Martin Starnes & Associates, CPAs, P.A.
Auditor Address
730 13th Avenue Dr. SE, Hickory, NC 28602

Hereinafter referred to as Auditor

for

Fiscal Year Ending	Audit Report Due Date
06/30/20	10/31/20

Must be within four months of FYE

hereby agree as follows:

1. The Auditor shall audit all statements and disclosures required by U.S. generally accepted auditing standards (GAAS) and additional required legal statements and disclosures of all funds and/or divisions of the Governmental Unit(s). The non-major combining, and individual fund statements and schedules shall be subjected to the auditing procedures applied in the audit of the basic financial statements and an opinion shall be rendered in relation to (as applicable) the governmental activities, the business- type activities, the aggregate DPCUs, each major governmental and enterprise fund, and the aggregate remaining fund information (non-major government and enterprise funds, the internal service fund type, and the fiduciary fund types).

2. At a minimum, the Auditor shall conduct his/her audit and render his/her report in accordance with GAAS. The Auditor shall perform the audit in accordance with *Government Auditing Standards* if required by the State Single Audit Implementation Act, as codified in G.S. 159-34. If required by OMB *Uniform Administration Requirements, Cost Principles, and Audit Requirements for Federal Awards* (Uniform Guidance) and the State Single Audit Implementation Act, the Auditor shall perform a Single Audit. This audit and all associated audit documentation may be subject to review by Federal and State agencies in accordance with Federal and State laws, including the staffs of the Office of State Auditor (OSA) and the Local Government Commission (LGC). If the audit requires a federal single audit performed under the requirements found in Subpart F of the Uniform Guidance (§200.501), it is recommended that the Auditor and Governmental Unit(s) jointly agree, in advance of the execution of this contract, which party is responsible for submission of the audit and the accompanying data collection form to the Federal Audit Clearinghouse as required under the Uniform Guidance (§200.512).

If the audit and Auditor communication are found in this review to be substandard, the results of the review may be forwarded to the North Carolina State Board of CPA Examiners (NC State Board).

3. If an entity is determined to be a component of another government as defined by the group audit standards, the entity's auditor shall make a good faith effort to comply in a timely manner with the requests of the group auditor in accordance with AU-6 §600.41 - §600.42.

4. This contract contemplates an unmodified opinion being rendered. If during the process of conducting the audit, the Auditor determines that it will not be possible to render an unmodified opinion on the financial statements of the unit, the Auditor shall contact the LGC staff to discuss the circumstances leading to that conclusion as soon as is practical and before the final report is issued. The audit shall include such tests of the accounting records and such other auditing procedures as are considered by the Auditor to be necessary in the circumstances. Any limitations or restrictions in scope which would lead to a qualification should be fully explained in an attachment to this contract.

5. If this audit engagement is subject to the standards for audit as defined in *Government Auditing Standards*, 2011 revisions, issued by the Comptroller General of the United States, then by accepting this engagement, the Auditor warrants that he/she has met the requirements for a peer review and continuing education as specified in *Government Auditing Standards*. The Auditor agrees to provide a copy of the most recent peer review report to the Governmental Unit(s) and the Secretary of the LGC prior to the execution of an audit contract. Subsequent submissions of the report are required only upon report expiration or upon auditor's receipt of an updated peer review report. If the audit firm received a peer review rating other than pass, the Auditor shall not contract with the Governmental Unit(s) without first contacting the Secretary of the LGC for a peer review analysis that may result in additional contractual requirements.

If the audit engagement is not subject to *Government Accounting Standards* or if financial statements are not prepared in accordance with U.S. generally accepted accounting principles (GAAP) and fail to include all disclosures required by GAAP, the Auditor shall provide an explanation as to why in an attachment to this contract or in an amendment.

6. It is agreed that time is of the essence in this contract. All audits are to be performed and the report of audit submitted to LGC staff within four months of fiscal year end. If it becomes necessary to amend this due date or the audit fee, an amended contract along with a written explanation of the delay shall be submitted to the Secretary of the LGC for approval.

7. It is agreed that GAAS include a review of the Governmental Unit's (Units') systems of internal control and accounting as same relate to accountability of funds and adherence to budget and law requirements applicable thereto; that the Auditor shall make a written report, which may or may not be a part of the written report of audit, to the Governing Board setting forth his/her findings, together with his recommendations for improvement. That written report shall include all matters defined as "significant deficiencies and material weaknesses" in AU-C 265 of the *AICPA Professional Standards (Clarified)*. The Auditor shall file a copy of that report with the Secretary of the LGC.

8. All local government and public authority contracts for audit or audit-related work require the approval of the Secretary of the LGC. This includes annual or special audits, agreed upon procedures related to internal controls, bookkeeping or other assistance necessary to prepare the Governmental Unit's (Units') records for audit, financial statement preparation, any finance-related investigations, or any other audit- related work in the State of North Carolina. Approval is not required on contracts and invoices for system improvements and similar services of a non-auditing nature.

9. Invoices for services rendered under these contracts shall not be paid by the Governmental Unit(s) until the invoice has been approved by the Secretary of the LGC. (This also includes any progress billings.) [G.S. 159-34 and 115C-447] All invoices for Audit work shall be submitted in PDF format to the Secretary of the LGC for approval. The invoice marked 'approved 'with approval date shall be returnedto

the Auditor to present to the Governmental Unit(s) for payment. This paragraph is not applicable to contracts for audits of hospitals.

10. In consideration of the satisfactory performance of the provisions of this contract, the Governmental Unit(s) shall pay to the Auditor, upon approval by the Secretary of the LGC if required, the fee, which includes any costs the Auditor may incur from work paper or peer reviews or any other quality assurance program required by third parties (federal and state grantor and oversight agencies or other organizations) as required under the Federal and State Single Audit Acts. This does not include fees for any pre-issuance reviews that may be required by the NC Association of CPAs (NCACPA) Peer Review Committee or NC State Board of CPA Examiners (see Item 13).

11. If the Governmental Unit(s) has/have outstanding revenue bonds, the Auditor shall submit to LGC staff, either in the notes to the audited financial statements or as a separate report, a calculation demonstrating compliance with the revenue bond rate covenant. Additionally, the Auditor shall submit to LGC staff simultaneously with the Governmental Unit's (Units') audited financial statements any other bond compliance statements or additional reports required by the authorizing bond documents, unless otherwise specified in the bond documents.

12. After completing the audit, the Auditor shall submit to the Governing Board a written report of audit. This report shall include, but not be limited to, the following information: (a) Management's Discussion and Analysis, (b) the financial statements and notes of the Governmental Unit(s) and all of its component units prepared in accordance with GAAP, (c) supplementary information requested by the Governmental Unit(s) or required for full disclosure under the law, and (d) the Auditor's opinion on the material presented. The Auditor shall furnish the required number of copies of the report of audit to the Governing Board upon completion.

13. If the audit firm is required by the NC State Board, the NCACPA Peer Review Committee, or the Secretary of the LGC to have a pre-issuance review of its audit work, there shall be a statement in the engagement letter indicating the pre-issuance review requirement. There also shall be a statement that the Governmental Unit(s) shall not be billed for the pre-issuance review. The pre-issuance review shall be performed prior to the completed audit being submitted to LGC Staff. The pre-issuance review report shall accompany the audit report upon submission to LGC Staff.

14. The Auditor shall submit the report of audit in PDF format to LGC Staff. For audits of units other than hospitals, the audit report should be submitted when (or prior to) submitting the final invoice for services rendered. The report of audit, as filed with the Secretary of the LGC, becomes a matter of public record for inspection, review and copy in the offices of the LGC by any interested parties. Any subsequent revisions to these reports shall be sent to the Secretary of the LGC along with an Audit Report Reissued Form (available on the Department of State Treasurer website). These audited financial statements, excluding the Auditors' opinion, may be used in the preparation of official statements for debt offerings by municipal bond rating services to fulfill secondary market disclosure requirements of the Securities and Exchange Commission and for other lawful purposes of the Governmental Unit(s) without requiring consent of the Auditor. If the LGC Staff determines that corrections need to be made to the Governmental Unit's (Units') financial statements, those corrections shall be provided within three business days of notification unless another deadline is agreed to by LGC staff.

15. Should circumstances disclosed by the audit call for a more detailed investigation by the Auditor than necessary under ordinary circumstances, the Auditor shall inform the Governing Board in writing of the need for such additional investigation and the additional compensation required therefore. Upon approval by the

Secretary of the LGC, this contract may be modified or amended to include the increased time, compensation, or both as may be agreed upon by the Governing Board and the Auditor.

16. If an approved contract needs to be modified or amended for any reason, the change shall be made in writing, on the Amended LGC-205 contract form and pre-audited if the change includes a change in audit fee (pre-audit requirement does not apply to charter schools or hospitals). This amended contract shall be completed in full, including a written explanation of the change, signed and dated by all original parties to the contract. It shall then be submitted to the Secretary of the LGC for approval. No change to the audit contract shall be effective unless approved by the Secretary of the LGC, the Governing Board, and the Auditor.

17. A copy of the engagement letter, issued by the Auditor and signed by both the Auditor and the Governmental Unit(s), shall be attached to this contract, and except for fees, work, and terms not related to audit services, shall be incorporated by reference as if fully set forth herein as part of this contract. In case of conflict between the terms of the engagement letter and the terms of this contract, the terms of this contract shall take precedence. Engagement letter terms that conflict with the contract are deemed to be void unless the conflicting terms of this contract are specifically deleted in Item 28 of this contract. Engagement letters containing indemnification clauses shall not be accepted by LGC Staff.

18. Special provisions should be limited. Please list any special provisions in an attachment.

19. A separate contract should not be made for each division to be audited or report to be submitted. If a DPCU is subject to the audit requirements detailed in the Local Government Budget and Fiscal Control Act and a separate audit report is issued, a separate audit contract is required. If a separate report is not to be issued and the DPCU is included in the primary government audit, the DPCU shall be named along with the parent government on this audit contract. DPCU Board approval date, signatures from the DPCU Board chairman and finance officer also shall be included on this contract.

20. The contract shall be executed, pre-audited (pre-audit requirement does not apply to charter schools or hospitals), and physically signed by all parties including Governmental Unit(s) and the Auditor, then submitted in PDF format to the Secretary of the LGC.

21. The contract is not valid until it is approved by the Secretary of the LGC. The staff of the LGC shall notify the Governmental Unit and Auditor of contract approval by email. The audit should not be started before the contract is approved.

22. Retention of Client Records: Auditors are subject to the NC State Board of CPA Examiners' Retention of Client Records Rule 21 NCAC 08N .0305 as it relates to the provision of audit and other attest services, as well as non-attest services. Clients and former clients should be familiar with the requirements of this rule prior to requesting the return of records.

23. This contract may be terminated at any time by mutual consent and agreement of the Governmental Unit(s) and the Auditor, provided that (a) the consent to terminate is in writing and signed by both parties, (b) the parties have agreed on the fee amount which shall be paid to the Auditor (if applicable), and (c) no termination shall be effective until approved in writing by the Secretary of the LGC.

24. The Governmental Unit's (Units') failure or forbearance to enforce, or waiver of, any right or an event of breach or default on one occasion or instance shall not constitute the waiver of such right, breach or default on any subsequent occasion or instance.

25. There are no other agreements between the parties hereto and no other agreements relative hereto that shall be enforceable unless entered into in accordance with the procedure set out herein and approved by the Secretary of the LGC.

26. E-Verify. Auditor shall comply with the requirements of NCGS Chapter 64 Article 2. Further, if Auditor utilizes any subcontractor(s), Auditor shall require such subcontractor(s) to comply with the requirements of NCGS Chapter 64, Article 2.

27. For all non-attest services, the Auditor shall adhere to the independence rules of the AICPA Professional Code of Conduct and Governmental Auditing Standards, 2018 Revision (as applicable). Financial statement preparation assistance shall be deemed a "significant threat" requiring the Auditor to apply safeguards sufficient to reduce the threat to an acceptable level. If the Auditor cannot reduce the threats to an acceptable level, the Auditor cannot complete the audit. If the Auditor is able to reduce the threats to an acceptable level, the documentation of this determination, including the safeguards applied, must be included in the audit workpapers.

All non-attest service(s) being performed by the Auditor that are necessary to perform the audit must be identified and included in this contract. The Governmental Unit shall designate an individual with the suitable skills, knowledge, and/or experience (SKE) necessary to oversee the services and accept responsibility for the results of the services performed. If the Auditor is able to identify an individual with the appropriate SKE, s/he must document and include in the audit workpapers how he/she reached that conclusion. If the Auditor determines that an individual with the appropriate SKE cannot be identified, the Auditor cannot perform both the non-attest service(s) and the audit. See "Fees for Audit Services" page of this contract to disclose the person identified as having the appropriate SKE for the Governmental Unit.

28. Applicable to charter school contracts only: No indebtedness of any kind incurred or created by the charter school shall constitute an indebtedness of the State or its political subdivisions, and no indebtedness of the charter school shall involve or be secured by the faith, credit, or taxing power of the State or its political subdivisions.

29. All of the above paragraphs are understood and shall apply to this contract, except the following numbered paragraphs shall be deleted (See Item 16 for clarification).

30. The process for submitting contracts, audit reports and invoices is subject to change. Auditors and units should use the submission process and instructions in effect at the time of submission. Refer to the N.C. Department of State Treasurer website at https://www.nctreasurer.com/slg/Pages/Audit-Forms-and-Resources.aspx.

31. All communications regarding audit contract requests for modification or official approvals will be sent to the email addresses provided on the signature pages that follow.

32. Modifications to the language and terms contained in this contract form (LGC-205) are not allowed.

FEES FOR AUDIT SERVICES

1. For all non-attest services, the Auditor shall adhere to the independence rules of the AICPA Professional Code of Conduct (as applicable) and *Governmental Auditing Standards,2018 Revision*. Refer to Item 27 of this contract for specific requirements. The following information must be provided by the Auditor; contracts presented to the LGC without this information will be not be approved.

Financial statements were prepared by: ☐Auditor ☑Governmental Unit ☐Third Party

If applicable: Individual at Governmental Unit designated to have the suitable skills, knowledge, and/or experience (SKE) necessary to oversee the non-attest services and accept responsibility for the results of these services:

Name:	***Title:***	***Email Address:***
Leslie Heidrick	Assistant County Manager/Finance Director	leslie.heidrick@rowancountync.gov

2. Fees may not be included in this contract for work performed on Annual Financial Information Reports (AFIRs), Form 990s, or other services not associated with audit fees and costs. Such fees may be included in the engagement letter but may not be included in this contract or in any invoices requiring approval of the LGC. See Items 8 and 13 for details on other allowable and excluded fees.

3. Prior to submission of the completed audited financial report, applicable compliance reports and amended contract (if required) the Auditor may submit invoices for approval for services rendered, not to exceed 75% of the total of the stated fees below. If the current contracted fee is not fixed in total, invoices for services rendered may be approved for up to 75% of the prior year billings. Should the 75% cap provided below conflict with the cap calculated by LGC staff based on the prior year billings on file with the LGC, the LGC calculation prevails. All invoices for services rendered in an audit engagement as defined in 20 NCAC 3 .0503 shall be submitted to the Commission for approval before any payment is made. Payment before approval is a violation of law. (This paragraph not applicable to contracts and invoices associated with audits of hospitals).

PRIMARY GOVERNMENT FEES

Primary Government Unit	Rowan County, NC
Audit Fee	$ See fee section of engagement letter
Additional Fees Not Included in Audit Fee:	
Fee per Major Program	$ See fee section of engagement letter
Writing Financial Statements	$ N/A
All Other Non-Attest Services	$ N/A
75% Cap for Interim Invoice Approval ***(not applicable to hospital contracts)***	$ 48,750.00

DPCU FEES (if applicable)

Discretely Presented Component Unit	N/A
Audit Fee	$
Additional Fees Not Included in Audit Fee:	
Fee per Major Program	$
Writing Financial Statements	$
All Other Non-Attest Services	$
75% Cap for Interim Invoice Approval ***(not applicable to hospital contracts)***	$

SIGNATURE PAGE

AUDIT FIRM

Audit Firm* Martin Starnes & Associates, CPAs, P.A.	
Authorized Firm Representative (typed or printed)* Amber Y. McGhinnis	Signature* Amber Y. McGhinnis
Date* 01/17/20	Email Address* amcghinnis@martinstarnes.com

GOVERNMENTAL UNIT

Governmental Unit* Rowan County, NC	
Date Primary Government Unit Governing Board Approved Audit Contract* (G.S.159-34(a) or G.S.115C-447(a))	
Mayor/Chairperson (typed or printed)* Greg Edds, Chairman	Signature*
Date	Email Address greg.edds@rowancountync.gov

Chair of Audit Committee (typed or printed, or "NA") N/A	Signature
Date	Email Address

GOVERNMENTAL UNIT – PRE-AUDIT CERTIFICATE

Required by G.S. 159-28(a1) or G.S. 115C-441(a1).
Not applicable to hospital contracts.

This instrument has been pre-audited in the manner required by The Local Government Budget and Fiscal Control Act or by the School Budget and Fiscal Control Act.

Primary Governmental Unit Finance Officer* (typed or printed) Leslie Heidrick, Assistant County Manager/Finance Director	Signature*
Date of Pre-Audit Certificate*	Email Address* leslie.heidrick@rowancountync.gov

SIGNATURE PAGE – DPCU
(complete only if applicable)

DISCRETELY PRESENTED COMPONENT UNIT

DPCU* N/A	
Date DPCU Governing Board Approved Audit Contract* (Ref: G.S. 159-34(a) or G.S. 115C-447(a))	
DPCU Chairperson (typed or printed)*	Signature*
Date*	Email Address*

Chair of Audit Committee (typed or printed, or "NA") N/A	Signature
Date	Email Address

DPCU – PRE-AUDIT CERTIFICATE

Required by G.S. 159-28(a1) or G.S. 115C-441(a1).
Not applicable to hospital contracts.

This instrument has been pre-audited in the manner required by The Local Government Budget and Fiscal Control Act or by the School Budget and Fiscal Control Act.

DPCU Finance Officer (typed or printed)* N/A	Signature*
Date of Pre-Audit Certificate*	Email Address*

Remember to print this form, and obtain all required signatures prior to submission.

PRINT

KWH
Koonce, Wooten & Haywood, LLP
CERTIFIED PUBLIC ACCOUNTANTS

Report on the Firm's System of Quality Control

To the Shareholders of Martin Starnes & Associates CPAs, P.A. and the
Peer Review Committee, North Carolina Association
Of Certified Public Accountants

We have reviewed the system of quality control for the accounting and auditing practice of Martin Starnes & Associates CPAs, P.A. (the firm) in effect for the year ended December 31, 2017. Our peer review was conducted in accordance with the Standards for Performing and Reporting on Peer Reviews established by the Peer Review Board of the American Institute of Certified Public Accountants (Standards).

A summary of the nature, objectives, scope, limitations of, and the procedures performed in a System Review as described in the Standards may be found at www.aicpa.org/prsummary. The summary also includes an explanation of how engagements identified as not performed or reported in conformity with applicable professional standards, if any, are evaluated by a peer reviewer to determine a peer review rating.

Firm's Responsibility

The firm is responsible for designing a system of quality control and complying with it to provide the firm with reasonable assurance of performing and reporting in conformity with applicable professional standards in all material respects. The firm is also responsible for evaluating actions to promptly remediate engagements deemed as not performed or reported in conformity with professional standards, when appropriate, and for remediating weaknesses in its system of quality control, if any.

Peer Reviewer's Responsibility

Our responsibility is to express an opinion on the design of the system of quality control and the firm's compliance therewith based on our review.

Required Selections and Considerations

Engagements selected for review included engagements performed under *Government Auditing Standards*, including compliance audits under the Single Audit Act and an audit of an employee benefit plan.

As part of our peer review, we considered reviews by regulatory entities as communicated by the firm, if applicable, in determining the nature and extent of our procedures.

Opinion

In our opinion, the system of quality control for the accounting and auditing practice of Martin Starnes & Associates CPAs, P.A. in effect for the year ended December 31, 2017, has been suitably designed and complied with to provide the firm with reasonable assurance of performing and reporting in conformity with applicable professional standards in all material respects. Firms can receive a rating of *pass*, *pass with deficiency(ies)* or *fail*. Martin Starnes & Associates CPAs, P.A. has received a peer review rating of pass.

Koonce, Wooten & Haywood, LLP

Koonce, Wooten & Haywood, LLP

May 3, 2018

Raleigh
4060 Barrett Drive
Post Office Box 17806
Raleigh, North Carolina 27619

919 782 9265
919 783 8937 FAX

Durham
3500 Westgate Drive
Suite 203
Durham, North Carolina 27707

919 354 2584
919 489 8183 FAX

Pittsboro
10 Sanford Road
Post Office Box 1399
Pittsboro, North Carolina 27312

919 542 6000
919 542 5764 FAX

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Finance Department
DATE: January 24, 2020
SUBJECT: Purchase of Vehicle for Facilities Management

Please see the attached memo regarding the purchase of a pickup truck for the Facilities Management Department.

Please approve the purchase of a F-250 pickup truck for the Facilities Management Department from Asheville Ford at a cost not to exceed $47,113.

ATTACHMENTS:

Description	Upload Date	Type
Purchase of Vehicle for Facilities Management	1/24/2020	Cover Memo

Leslie E. Heidrick, CPA
Assistant County Manager/
Finance Director

James M. Howden, CPA
Assistant Finance Director

Rowan County Finance Department
130 West Innes Street • Salisbury, NC 28144-4326
Telephone 704-216-8170 • FAX 704-216-8110

Memorandum

To: Rowan County Board of Commissioners
Aaron Church, County Manager

From: Leslie E. Heidrick, Assistant County Manager/Finance Director
David Sifford, Purchasing Agent

Re: Approval to Purchase Vehicle for Facilities Management Department

Date: January 24, 2020

In accordance with G.S. 143-129(e)(3), Rowan County is exempt from bidding requirements if the County purchases equipment from a contract established through a competitive bidding group purchasing program and if the contractor is willing to extend to the County the same or more favorable prices, terms and conditions as established in that contract. Asheville Ford, authorized dealer for the Ford Motor Company, has agreed to extend to the County the same price and terms set forth in its contract with the North Carolina Sheriff's Association (NCSA contract #19-05-0911R) for the purchase one F-250 pickup truck. The cost of the vehicle, excluding taxes, is $47,113. The quote for the vehicle from Asheville Ford is attached. The NCSA bid documents are on file in the Purchasing Office. The purchase price for the vehicle is within the approved fiscal year 2020 budget.

Staff's Recommendation: The Finance Department and the Facilities Management Department recommend that a contract be awarded to Asheville Ford for the purchase of one F-250 pickup truck at a cost not to exceed $47,113.

Prepared for: , Rowan County

2020 F-250 4x4 SD Crew Cab 8' box 176" WB SRW XL (W2B)

Price Level: 15

Client Proposal

Prepared by:
Jeffrey Williams
Office: 828-253-2731ext.324
Email: jwilliams@ashevilleford.com

Quote ID: 1029201901

Date: 10/29/2019

Prepared for:
Rowan County
Prepared by: Jeffrey Williams
10/29/2019

Asheville Ford | 611 Brevard Rd. Asheville NC | 28806

2020 F-250 4x4 SD Crew Cab 8' box 176" WB SRW XL (W2B)

Price Level: 15 | Quote ID: 1029201901

, Rowan County

Re: Quote ID 1029201901 10/29/2019

To Whom It May Concern,

All pricing provided in this quote is based on, and follows the guidelines of, the North Carolina Sheriffs' Association Vehicle Procurement Program. Contract # 19-05-0911R. Specification # 24

Sincerely,

Jeffrey Williams
Fleet Manager
828-253-2731ext.324
jwilliams@ashevilleford.com

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

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Prepared for:
Rowan County
Prepared by: Jeffrey Williams
10/29/2019

Asheville Ford | 611 Brevard Rd. Asheville NC | 28806

2020 F-250 4x4 SD Crew Cab 8' box 176" WB SRW XL (W2B)

Price Level: 15 | Quote ID: 1029201901

As Configured Vehicle

Code	Description
Base Vehicle	
W2B	Base Vehicle Price (W2B)
Packages	
600A	Order Code 600A *Includes:* *- GVWR: 10,000 lb Payload Package* *- Tires: LT245/75Rx17E BSW A/S (4)* *- Wheels: 17" Argent Painted Steel* *Includes painted hub covers/center ornaments.* *- HD Vinyl 40/20/40 Split Bench Seat* *Includes center armrest, cupholder, storage and driver's side manual lumbar.* *- Radio: AM/FM Stereo w/MP3 Player* *Includes 4 speakers.* *- SYNC Communications & Entertainment System* *Includes enhanced voice recognition with 911 Assist, 4.2" LCD center stack screen, AppLink and 1 smart-charging USB-C port.*
Powertrain	
99T	Engine: 6.7L 4V OHV Power Stroke V8 Turbo Diesel B20 *Includes manual push-button engine-exhaust braking and intelligent oil-life monitor.* *Includes:* *- 3.31 Axle Ratio* *- 175 Amp Heavy Duty Alternator* *- Dual 78-AH 750 CCA Batteries* *- 48 Gallon Fuel Tank*
44G	Transmission: TorqShift 10-Speed Automatic *Includes SelectShift and selectable drive modes: normal, tow/haul, eco and deep sand/snow.*
X31	3.31 Axle Ratio
STDGV	GVWR: 10,000 lb Payload Package
Wheels & Tires	
TD8	Tires: LT245/75Rx17E BSW A/S (4)
64A	Wheels: 17" Argent Painted Steel *Includes painted hub covers/center ornaments.*
512	Spare Tire, Wheel, Carrier & Jack Required in RI. Spare tire is standard equipment; becomes optional when (66D) Pickup Box Delete is ordered.
Seats & Seat Trim	

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2020 F-250 4x4 SD Crew Cab 8' box 176" WB SRW XL (W2B)

Price Level: 15 | Quote ID: 1029201901

As Configured Vehicle (cont'd)

Code	Description
A	HD Vinyl 40/20/40 Split Bench Seat *Includes center armrest, cupholder, storage and driver's side manual lumbar.*

Other Options

176WB	176" Wheelbase
90L	Power Equipment Group *Deletes passenger-side lock cylinder. Includes upgraded door trim panel.* *Includes:* *- Accessory Delay* *- Manual Telescoping/Folding Trailer Tow Mirrors* *Includes power heated glass, heated convex spotter mirror and integrated clearance lights and turn signal indicators.* *- Advanced Security Pack* *Includes SecuriLock Passive Anti-Theft System (PATS) and inclination/intrusion sensors.* *- Power Locks* *- Power Tailgate Lock* *- Power Front & Rear Seat Windows* *Includes 1-touch up/down driver/passenger window.* *- Remote Keyless Entry*
63R	Heavy-Service Package for Pickup Box Delete *Includes heavy-service front springs (200 lbs. upgrade above the spring computer selected as a consequence of options chosen. Not included if maximum springs have been computer selected as standard equipment) and rear auxiliary springs. Note: Salesperson's Source Book or Ford RV Trailer Towing Guide should be consulted for specific trailer towing or camper limits and corresponding required equipment, axle ratios and model availability.* *Includes:* *- Rear Stabilizer Bar*
66D	Pickup Box Delete *Deletes tie-down hooks, tailgate, rearview camera, 7/4 pin connector and center high-mounted stop lamp (CHMSL) (only on vehicles over 10,000 lbs. GVWR). Incomplete vehicle package - requires further manufacture and certification by a final stage manufacturer. In addition, Ford urges manufacturers to follow the recommendations of the Ford Incomplete Vehicle Manual and the Ford Truck Body Builder's Layout Book (and applicable supplements).* *Includes:* *- Rear Bumper Delete* *- Spare Wheel, Tire, Carrier & Jack Delete*
872	Rear View Camera & Prep Kit *Pre-installed content includes cab wiring, frame wiring to the rear most cross member and video display with 4" display. Upfitters kit includes camera with mounting bracket, 14' jumper wire and camera mounting and aiming instructions.*
PAINT	Monotone Paint Application
587	Radio: AM/FM Stereo w/MP3 Player *Includes 4 speakers.* *Includes:* *- SYNC Communications & Entertainment System* *Includes enhanced voice recognition with 911 Assist, 4.2" LCD center stack screen, AppLink and 1 smart-charging USB-C port.*

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

2020 F-250 4x4 SD Crew Cab 8' box 176" WB SRW XL (W2B)

Price Level: 15 | Quote ID: 1029201901

As Configured Vehicle (cont'd)

Code	Description
Emissions	
425	50-State Emissions System
Interior Colors	
AS_01	Medium Earth Gray
Primary Colors	
Z1_01	Oxford White
Upfit Options	
696J Muni	Kanpheide 696J Service Body Municipal Price *MODEL 696J SERVICE BODY PAINTED WHITE* *8' SERVICE BODY FITS 56CA SRW CHASSIS* *7 POLE PLASTIC TRAILER PLUG* *FORD FACTORY REAR VIEW CAMERA* *FORD MOUNT KIT* **CHASSIS TO BE EQUIPPED WITH FACTORY CAMERA & PROVISION** *KNAPLINER IN CARGO AREA AND TOPS OF CABINETS*

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

Prepared for:
Rowan County
Prepared by: Jeffrey Williams
10/29/2019

Asheville Ford | 611 Brevard Rd. Asheville NC | 28806

2020 F-250 4x4 SD Crew Cab 8' box 176" WB SRW XL (W2B)

Price Level: 15 | Quote ID: 1029201901

Pricing Summary - Single Vehicle

		MSRP
Vehicle Pricing		$61,287.00
Pre-Tax Adjustments		
Code	**Description**	
Fleet	Fleet Concession	-$9,100.00
DISCOUNT	DEALER DISCOUNT	-$5,074.11
Total		$47,112.89

Customer Signature

Acceptance Date

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Amy Lynn Albertson
DATE: 01/24/2020
SUBJECT: Cooperative Extension/ 4H Shoot Sports Program NRA Grant

---

Rowan Cooperative Extension 4H Shooting Sports Program would permission to accept the grant awarded from the NRA Foundation.

The award includes:
6 cases of 22Rifle ammunition

ATTACHMENTS:

Description	Upload Date	Type
2020 NRA Grant Award	1/24/2020	Cover Memo

THE NRA FOUNDATION
TEACH FREEDOM

HELP

Finished

Please review your order, and make sure to print for your records.

6 Finished

Organization: North Carolina State University Rowan County 4-H Shooting Sports
Grant Reference Number: 20NCW063
Claimed Date: 01-13-2020

Print >

Merchandise Award

ITEM DESC.	QTY REQUESTED	QTY AWARDED	STATUS	ADDRESS TYPE
CCI 22LR Standard Velocity 40 Grain (5,000 Count)	6	6	Fully Awarded	Standard
Winchester 20 Gauge Shotgun Shells, #8 Shot, 7/8 Oz. (250 Count)	6	4	Partially Awarded	Freight

ITEM DESC.	QTY REQUESTED	QTY AWARDED	STATUS	ADDRESS TYPE
Winchester Heavy Target 12 Gauge Shotgun Shells, #8 Shot, 1-1/8 Oz. (250 Count)	4	4	Fully Awarded	Freight

Monetary Award

ITEM DESC.	AMT REQUESTED	AMT AWARDED	STATUS
Clay Targets (Full Pallet)	$768.00	$768.00	Fully Awarded

Expected Grant Value: $2,900.00

Confirmation Email Address: lahoffne@ncsu.edu

Check / Mailing Address

Name: Laura Allen
Address: 2727 OLD CONCORD RD STE A
State: NC
Phone:

Business Name:
City: Salisbury
Zip: 281468388

Standard Shipping

Name: Laura Allen
Address: 2727 OLD CONCORD RD STE A
State: NC
Phone: 7042168970

Business Name:
City: Salisbury
Zip: 281468388

Freight Address

Name: Laura Allen
Address: 2727 OLD CONCORD RD STE A
State: NC

Business Name:
City: Salisbury
Zip: 281468388

Phone: 7042168970

Hours of Operation:

MON: 8AM - 5PM

TUE: 8AM - 5PM

WED: 8AM - 5PM

THU: 8AM - 5PM

FRI: 8AM - 5PM

PRINT

Please review your order, and make sure to print for your records.

Progress

1 Award Summary

2 Monetary Award

Monetary Award (Cont'd)

3 Merchandise Award

Shipping Information

Review Shipping

Shipping Payment

4 Recognition

5 Reminder

6 Finished

For questions contact the grant department at 1-800-554-9498 or grantprogram@nrahq.org

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11250 Waples Mill Road, Fairfax, VA 22030

NC STATE

Laura Allen <lahoffne@ncsu.edu>

NRA Foundation Grant Award

grantprogram@nrahq.org <grantprogram@nrahq.org> Mon, Jan 13, 2020 at 8:14 PM
To: lahoffne@ncsu.edu

[This E-mail was generated automatically, please do not respond.]

Congratulations! You have successfully claimed your NRA Foundation Grant award. Please keep a copy of this email for future reference.

Your Grant Number is 20NCW063

Remember that grant merchandise is to be used only by the organization and for the purpose/project outlined in your grant application. Cash awards are limited to the item(s) listed in your grant recommendation. Keep all receipts and paid invoices to submit with your final report. Expenditures on items not recommended by the State Fund Committee will not be accepted. Unused funds must be returned to The NRA Foundation, Attn: Grant Department, 11250 Waples Mill Rd., Fairfax, VA 22030.

You will be receiving an email shortly containing the link to your final report. All final reports are completed through the online system. Final reports are due 30 days after your program or project is completed, or by November 1, whichever date is earlier.

Thanks,
The NRA Foundation Grant Department

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Amy-Lynn Albertson
DATE: 1/24/2020
SUBJECT: Rowan County 4H Grants

Rowan County 4-H would like to apply for the Charlotte Observer Summer Camp Fund grant to help send low-income youth to 4-H Camp at Betsy-Jeff Penn this summer. We are asking for $1680, to cover four full camp scholarships.

Rowan County 4-H would like to apply for the Novant Health Community Engagement Grant to help send low-income youth to 4-H Camp at Betsy-Jeff Penn this summer. We are asking for $1680 to cover four full camp scholarships.

ATTACHMENTS:

Description	Upload Date	Type
2020 Summer Camp Fund Grant	1/24/2020	Cover Memo
Novant Social Responsibility Investments	1/24/2020	Cover Memo

The Summer Camp Fund awards grants to summer camps to provide scholarships to low-income children in grades K-12 to experience the outdoors during the summer months. ***Maximum number of weeks for campers to attend is four (4) weeks; one (1) or two (2) weeks is preferred in order for the greatest number of children to have the camp experience***. Grants must be used to expand the opportunities available to low-income campers.

The goals of The Summer Camp Fund are to help children develop a love of the outdoors, encourage continued learning throughout the summer, and expand children's visions of what could be. The Summer Camp Fund is grounded in the belief that low-income youth should have the opportunity to enjoy a summer outdoor camp experience that mirrors enrichment programs accessed by their middle- and upper- income peers. Outdoor nature experiences have the ability to boost creativity and self-discipline, enhance cognitive flexibility, improve problem-solving skills, and reduce stress (Louv, "The Natural Gifts of Camp," 2007). Research from the American Camp Association suggests that the camp experience can benefit children by increasing confidence and self-esteem, social skills, independence, and willingness to try new things (ACA, "Directions: Youth Development Outcomes of the Camp Experience," 2004).

ELIGIBILITY REQUIREMENTS

1. Applicant organizations must be operators of summer camp programs that have been operational for at least one full year.
2. The Summer Camp Fund grants must provide ***full scholarships (100% of costs) to campers*** who live in one or more of the following counties:

   - ***North Carolina:*** Alexander, Anson, Ashe, Avery , Burke, Cabarrus, Caldwell, Catawba, Cleveland, Gaston, Iredell, Lincoln, Mecklenburg, Richmond, Rowan, Stanly, Union, Watauga

   - ***South Carolina:*** Chester, Chesterfield, Lancaster, York

   Priority will be given to organizations that primarily serve one or more of these counties.

3. Applicant organizations must have offered scholarship opportunities to low-income students during the 2019 summer months.
4. Applicant organizations must have recently audited financial statements confirming conformity with generally accepted accounting principles, unless legally exempt from a required audit.
5. Applicant organizations must not discriminate on the basis of ethnicity, race, religious creed, national origin, disability, sexual orientation, marital status, age, or gender.
6. Single gender and co-ed camps are permitted to apply.
7. Camps that received previous funding from The Charlotte Observer Summer Camp Fund are permitted to apply, as well as camps that have not received funding in previous years (5 days).
8. The ***minimum*** camp experience that will be funded is one full week. One or two week grant requests are preferred. The maximum funded is four weeks, unless there are extraordinary circumstances which must be described in the application.

SELECTION CRITERIA

Applicant camps must clearly demonstrate the following:

- Sustainable plans to increase opportunities for low-income children and youth to attend camp
- High-quality programming with highly qualified staff
- Varied program activities that include:
    - Strong nature-centered experience (playground activities or outdoor sports do not by themselves meet the definition)
    - Intentional literacy component
    - Preference will be given to camps that provide swimming and/or water safety instruction
- An environment that exposes campers to new experiences and relationships
- Ability to achieve the expected outcomes of The Summer Camp Fund:
    - Campers respect and value the outdoors
    - Campers build new skills and develop new talents
    - Campers improve social skills and 21st century learning skills.
    - Campers increase aspiration for the future

APPLICATION PROCESS

Organizations interested in applying should use the attached application form. If you have questions about the application process, contact Connie Kumpe Searle at thesummercampfund@gmail.com or (704) 651-3048.

Applications must be postmarked by January 31, 2020. Late and/or incomplete applications may not be accepted. Please submit application to:

The Summer Camp Fund
c/o Connie Searle
19900 Shearwater Point Drive
Cornelius, NC 28031

SELECTION PROCESS

The Summer Camp Fund Governing Board will review applications and select grant recipients. To conduct a fair and ethical grants program, The Summer Camp Fund follows a conflict of interest policy which states that volunteers and/or staff may not participate in the grant process for an organization with which they are affiliated.

The Summer Camp Fund has limited discretionary funds; therefore, many exemplary proposals cannot be funded. Proposals that are not funded will receive communication of this decision. Because of the volume of requests, written feedback on proposals that are not funded will not be provided.

Notification of awards will occur no later than April 1, 2020, with contract negotiations immediately following. Grants will be distributed by June 5, 2020. Awarded organizations are expected to use funds before September 1, 2020.

GRANT REQUIREMENTS

- In general, grants provide one-time funding for the summer sessions of the application year.
- All grant recipients will receive, and are expected to complete a written report evaluating the project and accounting for grant expenses upon project completion by September 1, 2020.
- Camps MUST notify the SCF ASAP, if any awarded scholarships are not being used. Any funds not spent for the approved purposes by September 1, 2020, **must be returned** to The Summer Camp Fund.
- The Summer Camp Fund may conduct site visits to camp locations during summer camp.
- A WBTV staff member may contact camps for interviews, make site visits, and take photographs, within the bounds of the Grantee's policies regarding privacy and confidentiality.

The Summer Camp Fund Grant Application Form

*Please assemble items in the order listed below and check off each piece as it is completed. Please **do not** staple together.*

- ❑ **Grant Application Form**
- ❑ **Grant Narrative *(up to 4 pages only)***
- ❑ **Statement of Assurances, including signature of Chief Executive Officer and/or Board Chair**
- ❑ **Line-item profit and loss statement** of the actual income and expenses for the prior fiscal year
- ❑ **Line-item budget** with anticipated income and expenses for the fiscal year for which funds are being requested
- ❑ **Copy of 2020 scholarship application form**, which will be completed by applicants who apply for scholarship
- ❑ **List of the current Board of Directors**, including a brief business/community affiliation (if applicable)
- ❑ **Brochure to families** describing programs and their costs.
- ❑ **For 501(c)3 organizations, attach a copy of the applicant's official notice of tax exempt status from the Internal Revenue Service, or explain here if not included:** _____ If the applicant organization is exempt as a local unit of a national organization, attach certification of membership. (Note: Do not send the federal tax ID number notice or state tax exemption letter as these items do not meet this requirement.)
- ❑ **Enclose one copy of the applicant's most recent audit**. If no audit exists, please explain here, and attach most recent financial statements._____

APPLICANT ORGANIZATION INFORMATION

Name of Organization_____ Contact Name _____

Address_____ Job Title _____

City_____State_____Zip_____ Telephone _____Fax_____

Federal Tax ID # _____ Email _____

Date of Incorporation_____ Website _____

Organization's Mission _____

_____

Name of Camp_____

Location of Camp_____
(City or Town) (County) (State)

Is applicant the owner of camp facility? _____

Day Camp? _____Resident Camp? _____ Single Gender Camp? _____ Co-ed Camp? _____

Is camp accredited by the American Camp Association? _____

Other accreditations received by camp _____

Counties you recruit campers from_____ _____

HISTORY OF SCHOLARSHIPS YOUR CAMP PROVIDES

	Number of Campers Receiving *Partial* Scholarships *(do **not** include The Summer Camp Fund scholarships)*	**Number of Campers Receiving *Full* Scholarships** *(do **not** include The Summer Camp Fund scholarships)*	**Total Funding for *Partial and Full* Scholarships Provided**
2018			$
2019			$
2020 planned			$

THE SUMMER CAMP FUND GRANT REQUEST

(Full scholarships only; no partial scholarships are awarded)

Complete a separate line for each type of scholarship requested. Below is a sample showing a funding request for 10 one-week scholarships at $250 per week to a day (D) camp session; five (5) one-week scholarships at $500 per week to a residential (R) camp session; and three (3) scholarships at $1,000 per week for a two-week residential (R) session. The Total Grant Request ($11,000) is in the box at the bottom.

Sample of 2020 Grant Request

	A	B	C	D	E	F	G
	Residential (R) or Day (D) Camp	Name of Camp Program & Ages of Campers	Number of Weeks in Camp Session **(4-week maximum)**	Cost per Week	Total Cost per Camper *(Column C X Column D)*	Number of Camper Scholarships Requested	Total Cost of Camper Scholarships Requested *(Column E X Column F)*
1	D	Teen Camp 12-14 years	1	$250	$250	10	$2,500
2	R	Junior Camp 9-11 years	1	$500	$500	5	$2,500
3	R	Mini Camp 6-8 years	2	$1,000	$2,000	3	$6,000
						Total 2020 Grant Request	**$11,000**

2020 Grant Request

	A	B	C	D	E	F	G
	Residential (R) or Day (D) Camp	Name of Camp Program & Ages of Campers	Number of Weeks in Camp Session ***(4-week maximum)***	Cost per Week	Total Cost per Camper *(Column C X Column D)*	Number of Camper Scholarships Requested	Total Cost of Camper Scholarships Requested *(Column E X Column F)*
1					$		$
2					$		$
3					$		$
						Total 2020 Grant Request	$

GRANT NARRATIVE

Please answer the following questions as concisely as possible. Type the answers in a font no smaller than 10 point directly after each question below. The Grant Narrative should be ***no more than four (4) pages.***

1. Briefly summarize the programs, activities and services offered during camp sessions.

2. Describe the nature-centered experiences that campers receive at the summer camp. ***(Playground activities or outdoor sports do not by themselves meet the definition.)***

3. Describe reading, communication, and literacy activities which are a part of the camp program.

4. Describe the opportunities for swimming instruction and/or water safety instruction.

5. Describe how the camp environment and activities expose campers to new experiences and relationships.

6. Describe counselor qualifications, training, and counselor-to-camper ratio.

7. Provide a brief description of applicant organization's history of providing scholarship opportunities to low-income children and youth. How does applicant organization define low-income and how does applicant organization determine how scholarships are distributed?

8. If camp receives The Summer Camp Fund funding, what are specific strategies to recruit low-income campers? How would a low-income child from the community apply for a scholarship from the camp?

9. Describe plans for sustainability to provide scholarship opportunities for low-income campers.

10. Explain if camp has the capacity and a plan to provide transportation, clothing, activities that cost additional fees, and/or equipment which scholarship campers might need to attend camp.

11. Are scholarship campers expected to pay anything toward their fees? If so, please explain.

12. List complete fee structure for camper tuition (camp cost per camper, including transportation, supplies, etc.)

13. How does applicant organization measure success? What are expected outcomes for the camp?

14. Describe how applicant organization will achieve and demonstrate the following expected outcomes of The Summer Camp Fund:

    a. Campers respect and value the outdoors

    b. Campers build new skills and develop new talents

    c. Campers improve social skills and 21st century learning skills

    d. Campers increase aspiration for the future

STATEMENT OF ASSURANCES

The Summer Camp Fund requires assurances from the applicant that it will provide certain services and documents prior to any funds being released. A signature on the bottom of this page is considered acknowledgement and willingness to provide the services and documents described below prior to funding. If your organization is designated to enter into contract negotiations with The Summer Camp Fund, you will be required to submit the documents listed below within 15 days of your notification.

Documents to be provided by the grantee:

The grantee will maintain policies of insurance as specified by The Summer Camp Fund with an insurance company acceptable to The Summer Camp Fund. The Summer Camp Fund must be given a 20-day notice of any intent to terminate such insurance either by the non-profit grantee or the insuring program.

- **Certificate of Insurance and Insurance Policy** confirming The Summer Camp Fund is listed as an additional insured. The Summer Camp Fund requires coverage of $3,000,000 in the aggregate and $1,000,000 per occurrence.
- **Automobile liability** – Bodily injury and property damage liability covering all owned, non-owned and hired automobiles for limits of not less than $1,000,000 bodily injury each person, each accident and $1,000,000 property damage, or $1,000,000 combined single limit each occurrence/aggregate.
- **Commercial General Liability** – Bodily injury and property damage liability as shall protect the non-profit grantee and any subcontractor from claims of bodily injury or property damage which may arise from operation of this agreement whether such operations are performed by the non-profit grantee, any subcontractor, or anyone directly or indirectly employed by either. The amounts of such insurance shall not be less than $1,000,000 bodily injury each occurrence/aggregate and $1,000,000 property damage each occurrence/aggregate or $1,000,000 bodily injury and property damage combined single limits each occurrence/aggregate.
- **Workers' Compensation Insurance** – Meeting the statutory requirement of the State of North Carolina and Employers Liability - $100,000 per accident limit, $500,000 disease per policy limit, $100,000 disease each employee limit, providing coverage for employees and owners.

Approval of Board Chair and Executive Officer

We have reviewed and approved submission of this grant request. We certify that the applicant organization does not discriminate on the basis of ethnicity, race, religious creed, national origin, disability, sexual orientation, marital status, age, or gender. If applicable, we also certify that our most recent IRS notification of our organization's 501(c)(3) status is attached to this application and that the organization has received no notice from the IRS of any proposal, threat or suggestion to revoke or modify this determination.

Executive Officer Signature / Date _____ Name (Print) _____

Board Chair Signature / Date _____ Name (Print) _____

NOVANT HEALTH

Education

Social Responsibility
Investment Priorities

Novant Health is committed to giving back to the communities we serve, supporting our patients, their families and our team members. Investments in strategic partnerships with nonprofit organizations that address identified health needs help to expand our mission outside clinic and hospital walls.

The goal of the education investment priority is to build a pipeline for the healthcare workforce of the future.

The children and young adults of today are the healthcare providers of tomorrow.

From an early childhood perspective, the first years of a child's life are a critical time of change and development. Research supports the importance of early intervention and investment to see the largest impact. The true building blocks of health are established during a child's early years. Novant Health seeks to support early childhood development programs (focused on ages 0-5) that promote positive brain development and reading proficiency.

Further along the educational spectrum, Novant Health is interested in supporting programs that enhance college and career-readiness in the medical and health sciences career pathways. These programs may span from middle school through higher education and workforce development. College and career readiness is a crucial stepping stone in improving the likelihood of employment upon graduation and increasing self-esteem for young adults seeking employment. As a healthcare organization, we wish to invest in the next generation of healthcare professionals.

Request for Proposal Application Period
January 1 to February 14

www.NovantHealth.org/socialresponsibility

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Jason Burnett, Fire Chief, South Salisbury Fire Department
DATE: January 27, 2020
SUBJECT: Lease Purchase Agreement Authorization Letter for South Salisbury Fire Department

---

ATTACHMENTS:

Description	Upload Date	Type
Request for Documents for Lease Purchase Agreement for New Capital Equipment	1/27/2020	Cover Memo
Public Hearing Minutes	1/27/2020	Cover Memo
Schedule B Payment Schedule	1/27/2020	Cover Memo
Authorization Letter	1/27/2020	Cover Memo
Loan Confirmation	1/27/2020	Cover Memo

Barger, Carolyn M

From: South Salisbury <southsalisbury@outlook.com>
Sent: Tuesday, January 21, 2020 10:38 PM
To: Barger, Carolyn M
Cc: Soliz, Chris A; Horne, Deborah K.; South Salisbury
Subject: South Salisbury FD Request for Completion of County Documentation
Attachments: Rowan County Funding Schedule Documentation Request Form.pdf; Rowan County Lease Purchase Agreement Authorization Letter.pdf; BOD Meeting Minutes 12-10-2019 (Public Hearing).pdf; Schedule B Payment Schedule 11-12-2019.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. Report suspicious emails by clicking the "**Report Phish**" button.

Carolyn,

Attached are multiple documents related to our recent lease purchase agreement for new capital equipment. (2) of these documents were submitted by our financial institution (HomeTrust Bank) and are required to be completed by the appropriate county official(s) indicated on each attachment. These (2) documents also require that the provided information be placed on county letterhead prior to submission back to our organization.

The first attachment is a funding schedule requesting information regarding our fire tax revenue, property valuation and fire district tax rate. The second attachment is a formal letter to be signed by the Chairman of the Board of Commissioners regarding our lease purchase agreement with HomeTrust Bank. As reference, we submitted similar documentation for a previous financial loan that was placed on the consent agenda and approved on March 19th, 2018.

A public hearing as required for this lease purchase agreement was held on Tuesday, December 10th, 2019 at the fire department facility. A copy of the approved meeting minutes are attached for reference.

Project Background
The Board of Directors of South Salisbury Fire Department entered into a purchase agreement with Rhinehart Fire Services for the purchase of the following equipment: (23) self-contained breathing apparatus (SCBA) units and associated equipment.

The total cost of the project is $205,222.28. The following cost savings were realized as a result of purchasing this equipment. By performing a complete replacement of our existing equipment we received a reduction of $500.00 for each of the (23) specified pieces of equipment. Additionally, by agreeing to a joint purchase program with other local fire departments we received a reduction of $1,000.00 for each of the (23) specified pieces of equipment. This resulted in a combined cost savings of $1,500.00 for each of the (23) specified pieces of equipment representing a total cost savings of $34,500.00 for the entire project.

Approved Financing Package
HomeTrust Bank was selected as the financial lending institution for this project. The financing will consist of a (7) year equipment loan with structured annual payments. The payments will be $36,370.74 annually and comprised of principal and interest at a fixed interest rate of 2.55%. The complete interest payment is $18,224.41 for a total financial investment of $223,446.69. A copy of the Schedule B: Payment Schedule is attached for reference.

Once the final disbursement for the loan is made; a loan commencement date will be entered into by the organization. An initial principal payment of $5,222.28 will be due on the loan followed by the first actual payment on the new annual debt service of $36,370.74 (1) year from the commencement date of the loan which will be during the FY 2020-2021 budget year. The annual payments will be paid from the operational budget of the organization.

Please forward to the appropriate county official(s) for review/approval. If you should have any further questions, please let me know. I have also cc'd Chief Soliz and Chief Horne on this email so they are aware of our communication with the County Manager's Office and Board of County Commissioners.

Thanks in advance for your assistance with this request,

Jason Burnett
Fire Chief / Secretary, Board of Directors
South Salisbury Fire Department
(704) 637-3873
southsalisbury@outlook.com

SOUTH SALISBURY FIRE DEPARTMENT

SERVING ROWAN COUNTY SINCE 1951

Public Hearing Meeting Minutes
December 10th, 2019 @ 7:00 P.M.

The December 10th, 2019 public hearing was held to discuss the organization's acquisition by lease purchase of (23) self-contained breathing apparatus (SCBA) units and related equipment pursuant to the organization's specifications and financial arrangement related thereto in the amount of $205,222.28. The public hearing was called to order at 7:00 P.M. by President Gary Gaskey with (6) individuals present. A sign-in form was completed by each individual attending.

The (6) individuals present represented the organization as members of the Board of Directors. The public hearing remained open until 7:15 P.M.

No comments were received during the public hearing. With no additional individuals present that wished to speak at the public hearing, President Gaskey closed the public hearing at 7:15 P.M.

Respectfully Submitted,

Jason Burnett
Board Secretary
South Salisbury Fire Department

MUNICIPAL LEASE AND OPTION AGREEMENT
SCHEDULE B: PAYMENT SCHEDULE

LESSEE: South Salisbury Fire Department, Inc.

INVESTMENT: $205,222.28

PAYMENT: $36,370.74

TERM: 7 Years (Advance)

COMMENCEMENT DATE:

FIRST PAYMENT DATE:

PMT. NO	PAYMENT	INTEREST	PRINCIPAL	CONCLUDING PMT
1	$5,222.28	$0.00	$5,222.28	$200,000.00
2	$36,370.74	$5,100.00	$31,270.74	$177,165.73
3	$36,370.74	$4,302.60	$32,068.14	$143,494.18
4	$36,370.74	$3,484.86	$32,885.88	$108,964.01
5	$36,370.74	$2,646.27	$33,724.47	$73,553.32
6	$36,370.74	$1,786.29	$34,584.44	$37,239.66
7	$36,370.74	$904.39	$35,466.34	$0.00

LESSOR: **HomeTrust Bank**

NAME: **John M. Tench**

SIGNATURE: _____

TITLE: **Senior Vice President**

DATE: **11/12/2019**

LESSEE: South Salisbury Fire Department, Inc.

NAME: **Gary Eugene Gaskey**

SIGNATURE: _____

TITLE: **President**

DATE: **11/12/2019**

(To Be Reproduced on County Letterhead)

DATE (please date after the department has held their public meeting on _____)

HomeTrust Bank
PO Box 10
Asheville, NC 28802-0010

Re: Municipal Lease and Option Agreement between HomeTrust Bank and South Salisbury Fire Department, Inc.

Dear Sirs,

I am Chairman of the County Commissioners of Rowan County. This letter is to advise you that: South Salisbury Fire Department, Inc. is a qualified Volunteer Fire Department, assigned to protect a specific Fire District within this County.

In addition, a special ad valorem (fire tax) is assessed on the real property owners of this district. Said tax is to be used exclusively to provide equipment, facilities, and training as is necessary to provide fire protection for said district. Said funds may also be used to upgrade equipment as the need arises. This tax is collected by the County and disbursed by the Finance Office to the Fire Department on a regular basis by the County Finance Officer. The Fire Department is operated and managed by the Board of Directors of the Fire Department and the Officers of said Department. The Department is currently meeting the requirements of their fire service contract.

The Fire Department has made us aware of their intention to acquire new capital assets through a Lease Purchase transaction with your firm. Please be advised that the County has no objection to this transaction.

Sincerely,

_____
Chairman
Rowan County Commission

Leslie E. Heidrick, CPA
Assistant County Manager/
Finance Director

James M. Howden, CPA
Assistant Finance Director

Rowan County Finance Department
130 West Innes Street • Salisbury, NC 28144-4326
Telephone 704-216-8170 • FAX 704-216-8110

Home Trust Bank
PO Box 10
Asheville, NC 28802-0010

The funding for South Salisbury Fire Department Inc. has been progressive as per the following schedule:

Fiscal Year	Actual / Estimated Tax Revenue	Assessed Valuation	Rate Per $100 Value
2020	$ 437,891	$ 542,994,420	0.0825
2019	407,807	528,320,165	0.0775
2018	401,778	531,604,104	0.0775

_____
Signature

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Elizabeth Garcia, Administrative Secretary, County Manager's Office
DATE: January 28, 2020
SUBJECT: Revised JCPC Funding Plan for FY '20

The Juvenile Crime Prevention Council (JCPC) met on January 22, 2020 and approved the attached revised Funding Plan for FY '20. The revision is due to expansion funding being allocated to the JCPC Administrator in the amount of $9,568. There is no cost to the County for these funds.

ATTACHMENTS:

Description	Upload Date	Type
Funding Plan	1/28/2020	Cover Memo

ROWAN County

NC DPS - Community Programs - County Funding Plan

Available JCPC Funds: $ $322,700
Raise the Age Expansion Funds: $ $56,834

Local Match: $ $134,803 Rate: 30%

DPS JCPC funds must be committed with a Program Agreement submitted in NC Allies and electronically signed by authorized officials.

#	Program Provider	New 19-20 Total DPS Funds	Original 19-20 DPS Funds	DPS-RtA Expansion Funding	LOCAL FUNDING County Cash Match	LOCAL FUNDING Other Local Cash Match	LOCAL FUNDING Local In-Kind	OTHER State/ Federal	OTHER Funds	Total
1	Rowan Youth Services Bureau, Inc (Teen Court)	$64,374	$55,710	$8,664			$31,395			$95,769
2	Rowan Youth Services Bureau, Inc (Restitution/Community Service)	$79,886	$79,886				$24,685			$104,571
3	Rowan Youth Services Bureau, Inc (Sex Offender Treatment/Evalustions)	$8,316	$8,316				$3,048			$11,364
4	Transforming Youth Movement, Inc (SHIFT Mentoring)	$48,000	$48,000			$1,000	$18,960			$67,960
5	Aspire Youth & Family, Inc (Kids at Work!)	$41,599	$41,599				$13,468			$55,067
6	Happy's Farm (Discovering Yourself Through Barnyard Adventures)	$28,158	$28,158				$24,975			$53,133
7	Transforming Youth Movement, Inc (Get Hired-Youth Employability)	$55,099	$55,099				$17,272			$72,371
8	Rowan Youth Services Bureau, Inc (Botvin Lifeskills)	$3,942		$3,942						$3,942
9	Families First-NC, Inc (Strengthening Families)	$30,678		$30,678						$30,678
10	JCPC Administration	$15,500	$5,932	$9,568						$15,500
11										
12										
13										
14										
15										
16										
17										
18										
	TOTALS:	$375,552	$322,700	$52,852		$1,000	$133,803			$510,355

The above plan was derived through a planning process by the ROWAN County Juvenile Crime Prevention Council and represents the County's Plan for use of these funds in FY 19-20

Amount of Unallocated JCPC Funds _____

Amount of Unallocated RtA Expansion Funds $3,982

Amount of funds reverted back to DPS _____

Discretionary Funds added _____

Check type: ☐ Initial plan ☑ Update ☐ Final

Chairperson, Juvenile Crime Prevention Council (Date) 1/27/2020

Chairperson, Board of County Commissioners or County Finance Officer (Date)

-----DPS Use Only-----

Reviewed by _____ Area Consultant Date

Reviewed by _____ Program Assistant Date

Verified by _____ Designated State Office Staff Date

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Siobhan Allen, Management Analyst
DATE: January 28, 2020
SUBJECT: Appointment of County Manager's Designee for Juvenile Crime Prevention Council

---

The County Manager's designee on the Juvenile Crime Prevention Council is being changed from Justan Mounts to Siobhan Allen.

ATTACHMENTS:

Description	Upload Date	Type
No Attachments Available		

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Shane Stewart, Assistant Planning Director
DATE: January 24, 2020
SUBJECT: Public Hearing for STA 02-19: Subdivision Street Standards

---

On December 2, 2019, the Board of Commissioners (BOC) conducted a public hearing for **STA 02-19** concerning road width and turn around standards from Appendix D of the North Carolina Fire Code for adoption into the Subdivision Ordinance. The board voted to table their decision until after the January 10th Annual Planning Work Session to hear from NCDOT and others regarding the proposed changes. Planning staff have prepared revisions according to these discussions regarding street width, turn around standards, and provisions for secondary access for developments creating more than thirty (30) residential lots.

Receive staff report, conduct public hearing, and approve / deny / table STA 02-19.
Statements of Reasonableness and Consistency are not required for this request.

ATTACHMENTS:

Description	Upload Date	Type
Staff Report	1/24/2020	Exhibit
Appendix D of Fire Code	1/24/2020	Exhibit

Rowan County Department of Planning & Development
402 North Main Street – Suite 204 – Salisbury, NC 28144
Phone: (704) 216-8588 – Fax: (704) 216-7986
www.rowancountync.gov/planning

MEMORANDUM

TO: Rowan County Board of Commissioners
FROM: Shane Stewart, Assistant Planning Director
DATE: January 24, 2020
RE: **STA 02-19**

SUGGESTED BOARD OF COMMISSIONERS ACTION

❒ Receive staff report ❒ Conduct public hearing ❒ Close hearing & discuss
❒ Motion to Approve / Deny / Table **STA 02-19**

BACKGROUND

On December 2, 2019, the Board of Commissioners (BOC) conducted a public hearing for **STA 02-19** concerning road width and turn around standards from Appendix D of the North Carolina Fire Code for adoption into the Subdivision Ordinance. The board voted to table their decision until after the January 10th Annual Planning Work Session to hear from NCDOT and others regarding the proposed changes. Planning staff have prepared revisions according to these discussions regarding street width, turn around standards, and provisions for secondary access for developments creating more than thirty (30) residential lots.

PROPOSED CHANGES

Existing text proposed for deletion appear ~~highlighted with strikethroughs~~ while new texts appear as **bold red text.**

Section 22-10. Other Definitions.

***NCDOT* means the North Carolina Department of Transportation.**

Specific Type Roads:

Cul-de-sac. ~~A short street having but one end open to traffic and the other end being permanently terminated and a vehicular turnaround provided.~~ **A permanent dead-end street which has one (1) end open to traffic and terminates in a**

circular turnaround.

Section 22-80. Road Standards.

Every lot shall have access to it that is sufficient to provide a means of ingress and egress for emergency vehicles as well as for all those likely to need or desire access to the property in its intended use. In situations where an original lot is provided access via a non-state standard right-of-way or easement (public or private) and is proposed to be subdivided, the subdivider shall be responsible for obtaining the necessary right-of-way and for all aspects of road construction for upgrading said access to the proposed subdivision. Road construction and right-of-way standards shall meet the requirements of Section 22-80(a) or (b) of this ordinance.

(a) *Public Roads.*

All subdivision lots shall abut on a public road except as provided in section 22-80(b) and (d) of this ordinance. All public roads shall be paved and built to all applicable standards of this ordinance and all other applicable standards of the North Carolina Department of Transportation (NCDOT). Roads which are not eligible to be put on the NCDOT system because there are too few residences shall nevertheless be dedicated for public use and shall be built in accordance with the standard necessary to be put on the NCDOT System. ~~A written agreement with provision for maintenance of the street until it is put on the State System shall be included with the final plat and recorded with Rowan County Register of Deeds office. The maintenance agreement shall provide~~ **A final plat shall contain the road maintenance disclosure statement from section 22-59 (2) notifying prospective buyers** that either the subdivider or property owners shall be responsible for the maintenance of all proposed public streets until the responsibility has been transferred to either a homeowner's association established for the owners of properties in the subdivision or has been accepted for public road maintenance by NCDOT.

(b) *Private Roads.*

Private roads shall be permitted only when the roads proposed within a subdivision will not be eligible for inclusion into the NCDOT state maintained system or by a municipality in Rowan County because of their standards for acceptance. Such roads shall meet all right-of-ways and construction standards of NCDOT unless specifically provided otherwise. The subdivider shall provide certification from a registered professional engineer that the subject roads were built to these standards. All private roads shall be marked as such on the preliminary and final plat**, include the road maintenance disclosure statement from section 22-59 (2) on the final plat,** and **record** a maintenance agreement ~~shall be provided and recorded with the plat~~ at the Rowan County Register of Deeds office once the final plat has been approved.

Said maintenance agreement shall include, but not be limited to, the following items:

(1) That a homeowner's association shall be established as a legal entity for the property owners within the entire subdivision.

(2) That all property owners within the subdivision shall be members of the

homeowner's association.

(3) That the subdivider shall convey all private streets in fee simple ownerships within the subdivision to the homeowner's association.

(4) That the responsibility for maintenance of private streets from the developer to the homeowners association shall be noted in the deed of each purchaser of property within the subdivision.

At the time of the preparation of the sales agreement the developer shall include a disclosure statement to the prospective buyer as herein outlined. The developer and seller shall include in the disclosure statement an explanation of the consequences and responsibility about the maintenance of a private street, and shall fully and accurately disclose to the party or parties upon whom responsibility for construction and maintenance of such street or streets shall rest.

Private roads for a family subdivision, as defined in section 22-9, shall not be required to meet construction standards of NCDOT, instead the lot(s) created shall be provided ingress and egress via a twenty-foot easement or right-of-way (new or existing) in continuity to a publically maintained road, which shall be shown on the final plat. Furthermore, family subdivisions may also occur in situations where prior minor subdivision approval was granted but not within a major subdivision. In addition, the street frontage requirements of section 22-79(a) "Lot Dimensions" shall not apply to these lots. For the purposes of determining other required setbacks, "street" and "street right-of-way" shall be interpreted to mean the twenty-foot exclusive easement. The establishment or extension of a new easement or right-of-way shall not be prevented by the required setback of an existing structure if the Subdivision Administrator determines no other feasible options are available.

Any family subdivision that cannot comply with the provisions of this subsection shall not be approved as a family subdivision and shall be approved and comply with the provisions of a minor or major subdivision.

(e) *Street Design Standards.*

The design of all streets and roads within the jurisdiction of this ordinance shall be in accordance with the accepted policies and standards of the North Carolina Department of Transportation, Division of Highways. The most recent edition of the North Carolina Department of Transportation, Division of Highway's Subdivision Roads Minimum Construction Standards, shall apply for any items not included in this ordinance or where stricter than this ordinance.

The following design standards shall apply to all streets proposed in subdivisions:

(1) Street jogs with centerline offsets of less than one hundred fifty (150) feet are not permitted.

(2) Street intersections shall not include more than four (4) street approaches.

(3) Streets shall be laid out to intersect as nearly as possible at right angles. No street shall intersect another at less than sixty (60) degrees, other arrangements for smooth merging of traffic shall be permitted where the total effect on the intersection is to reduce traffic hazards and provide for smooth

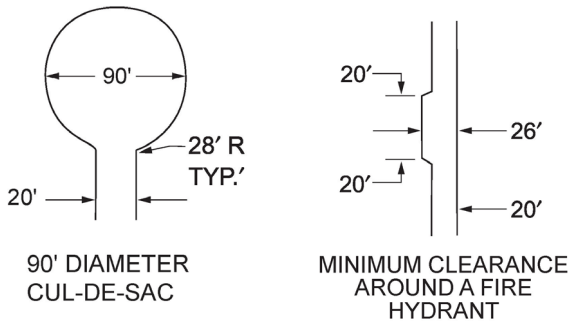
traffic flow at the intersection as a whole. As an example, where a one-way street leaves or enters a street divided by a median strip or otherwise controlled to prevent left turns, the angle of departure or entry might be less than sixty (60) degrees. All angles of street intersections shall meet current NCDOT standards.

(4) To ensure streets are appropriately designed to support the efficient and safe movement of emergency service vehicles and the general public, minimum pavement dimensions shall be as follows unless an alternative design is accepted by the Rowan County Fire Marshal:

1. Twenty (20) feet in width;

2. Twenty-six (26) feet in width when adjacent to a dry or municipal hydrant in accordance with the below figure; and

3. When proposed, cul-de-sacs shall be ninety (90) feet in diameter in accordance with the below figure.



Not to Scale

Additional right-of-way may be necessary to accommodate width and turnarounds which exceed NCDOT minimum standards.

(f) *Other Requirements.*

(1) Sidewalks.

Sidewalks may be required by the Board of Commissioners on one or both sides of the street in areas likely to be subject to heavy pedestrian traffic such as near schools and shopping areas. Such sidewalks shall be constructed to a minimum width of four (4) feet, and shall consist of a minimum thickness of four (4) inches of concrete. All sidewalks shall be placed in the right-of-way. Sidewalks shall consist of a minimum of six (6) inches of concrete at driveway crossings. Sidewalks shall be constructed of concrete with a minimum compressive strength of two thousand five hundred (2,500) pounds per square inch or greater.

(2) Street Names.

Proposed streets which are obviously in alignment with existing streets shall be given the same name. In assigning new names, duplication of existing names shall be avoided and never shall the proposed name be phonetically similar to existing names in the county irrespective of the use of a suffix such as street, road, drive, place, court, etc. Street names shall be subject to the approval of the Planning Department and shall be in accordance with section 22-78.

(3) Street Name Signs.

The subdivider shall be required to reimburse Rowan County for providing and placing street name signs to county standards at all intersections within the subdivision. This fee shall be paid before final plat approval.

(4) Permits for Connection to State Roads.

An approved permit is required for connection with any existing state system road. This permit is required before any construction on the street or road. The application is available at the office of the nearest district engineer of the Division of Highways.

(5) Wheelchair Ramps.

In accordance with G.S. 136-44.14, all street curbs in North Carolina being constructed or reconstructed for maintenance procedures, traffic operations, repairs, correction of utilities, or altered for any reason after September 1, 1973, shall provide wheelchair ramp for the physically handicapped at all intersections where both curb and gutter and sidewalk are provided and at other major points of pedestrian flow.

(6) Secondary Access.

In addition to the primary access required in section 22-80 (a), a residential subdivision creating more than thirty (30) lots shall also construct a separate and approved access road twenty (20) feet in width for emergency service vehicles, which meet or exceed the construction standards of section 22-80 (g). The Board of Commissioners may waive the secondary access road requirement for developments with limited public road frontage, environmental constraints, including topography, or similar circumstances, which prevent or significantly inhibit construction.

(g) *All-Weather Access Road for Water Point Sources*

In situations where the water point source cannot be directly accessed by a mobile water supply apparatus via the proposed subdivision street; or, an existing state maintained road; or a linkage of hoses not to exceed twenty (20) feet, then the subdivider shall be responsible for construction of an access road in fire districts with a PPC rating of 8 or lower. In districts with a PPC rating of 9 or 9S, the fire department having jurisdiction shall participate equally with the subdivider in sharing the costs for access road construction.

This access road shall be maintained in accordance with the following NFPA 1142 Chapter 7 guidelines to which it was built. These standards are intended to

serve as the maximum requirements that may be imposed, subject to (11) below.

(1) Roadways shall have a minimum clear width of twelve (12) feet (3.7 m) for each lane of travel.

(2) Turns shall be constructed with a minimum radius of one hundred (100) feet (30.5 m) to the centerline.

(3) The maximum sustained grade shall not exceed eight (8) percent.

(4) All cut-and-fill slopes shall be stable for the soil involved.

(5) Bridges, culverts, or grade dips shall be provided at all drainageway crossings; roadside ditches shall be deep enough to provide drainage with special drainage facilities (tile, etc.) at all seep areas and high water table areas.

(6) The surface shall be treated as required for year-round travel.

(7) Erosion control measures shall be used as needed to protect road ditches, cross drains, and cut-and-fill slopes.

(8) Where turnarounds are utilized during firefighting operations, they shall be designed with a diameter of one hundred twenty (120) feet (36.5 m) or larger, as required, to accommodate the equipment of the responding fire department.

(9) Load-carrying capacity shall be adequate to **support the imposed load of fire apparatus weighing at least 75,000 pounds** ~~carry the maximum vehicle load expected~~.

(10) The road shall be suitable for all-weather use.

(11) Upon determination from the SRC that lesser standards are adequate and comply with the intent of this article, deviations may be permitted on an individual basis.

COMMITTEE A MEETING

On September 17, 2019, Fire Marshal Deborah Horne and Fire Investigator Darrell Nichols presented the need for adopting Appendix D. After much discussion, Committee A unanimously voted (4-0) to direct staff to prepare draft language to incorporate Table D 103.4 and Figure D 103.1 (width and turnaround dimensions) into the Subdivision Ordinance and forward to the committee to determine if another meeting would be necessary prior to Planning Board consideration. A majority of the committee agreed the text should be forward to the Planning Board for a courtesy hearing.

OCTOBER 28th PLANNING BOARD MEETING

The following individuals were present and shared concerns with existing NCDOT minimum road standards along with their support for the proposed text revisions:

- Deborah Horne, Rowan County Fire Division Chief

- Darrell Nichols, Rowan County Fire Investigator
- Rusty Alexander, Locke Fire Chief
- John Morrison, West Rowan Fire Chief
- Mike Zimmerman, Bostian Heights Fire Chief
- Chris Soliz, Rowan County Chief of Emergency Services

The Planning Board voted 6-1 to recommend approval of the text as presented.

STAFF COMMENTS

The secondary access requirement was briefly discussed at the committee level but not included in the proposed ordinance. Conversations regarding the benefits of a secondary access resurfaced during discussions between the December 2nd BOC meeting and the January 10th Planning Work Session indicating the need for discussion as part of the STA 02-19 amendment. This requirement would apply for residential subdivision creating more than thirty (30) lots as required in Appendix D of the NC Fire code but contain a waiver provision should circumstances prevent or significantly inhibit construction. Additionally, both the West and East Area Land Use Plans contain future land use recommendations stating "Major subdivisions that generate a minimum of 1,000 daily trips (i.e. 100 single family homes) shall have direct access to a recognized thoroughfare and a minimum of two points of entry" further supporting the concept of this requirement.

APPENDIX D

FIRE APPARATUS ACCESS ROADS

The provisions contained in this appendix are not mandatory unless specifically referenced in the adopting ordinance.

SECTION D101
GENERAL

D101.1 Scope. Fire apparatus access roads shall be in accordance with this appendix and all other applicable requirements of the *International Fire Code*.

SECTION D102
REQUIRED ACCESS

D102.1 Access and loading. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an *approved* fire apparatus access road with an asphalt, concrete or other *approved* driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34 050 kg).

SECTION D103
MINIMUM SPECIFICATIONS

D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1).

D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.

Exception: Grades steeper than 10 percent as *approved* by the fire chief.

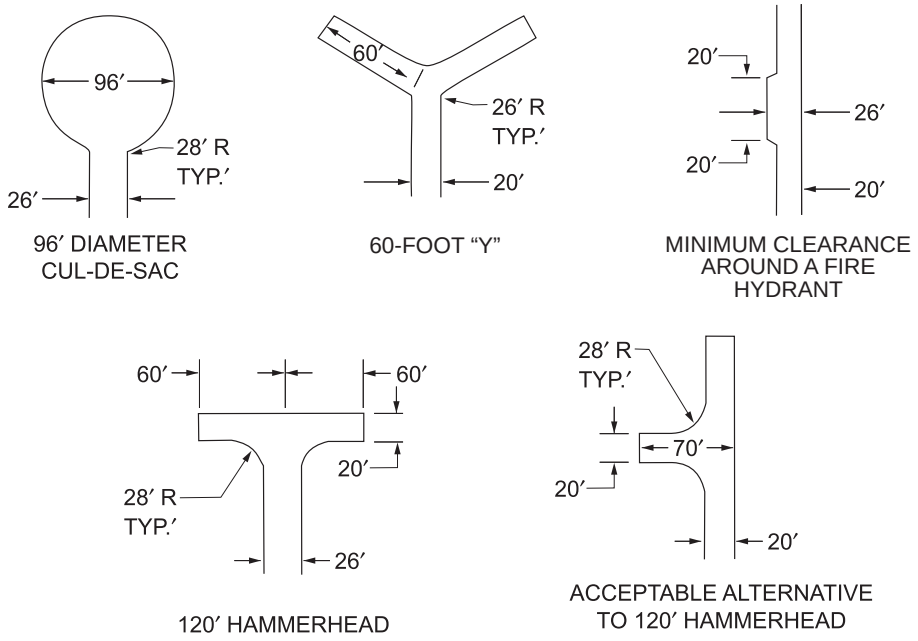
D103.3 Turning radius. The minimum turning radius shall be determined by the *fire code official*.

D103.4 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.

TABLE D103.4
REQUIREMENTS FOR DEAD-END FIRE APPARATUS ACCESS ROADS

LENGTH (feet)	WIDTH (feet)	TURNAROUNDS REQUIRED
0-150	20	None required
151-500	20	120-foot Hammerhead, 60-foot "Y" or 96-foot diameter cul-de-sac in accordance with Figure D103.1
501-750	26	120-foot Hammerhead, 60-foot "Y" or 96-foot diameter cul-de-sac in accordance with Figure D103.1
Over 750	Special approval required	

For SI: 1 foot = 304.8 mm.



For SI: 1 foot = 304.8 mm.

FIGURE D103.1
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

INTERNATIONAL CODE COUNCIL®
Copyright © 2018 ICC. ALL RIGHTS RESERVED. Accessed by Shane Pethel (spethel@kannapolisnc.gov), (City of Kannapolis Fire Dept) Order Number #100628361 on Dec 12, 2018 7:43:59 AM pursuant to License Agreement with ICC. No further reproduction or distribution authorized. Single user only, copying and networking prohibited. ANY UNAUTHORIZED REPRODUCTION OR DISTRIBUTION IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT AND THE LICENSE AGREEMENT, AND SUBJECT TO CIVIL AND CRIMINAL PENALTIES THEREUNDER.

D103.5 Fire apparatus access road gates. Gates securing the fire apparatus access roads shall comply with all of the following criteria:

1. Where a single gate is provided, the gate width shall be not less than 20 feet (6096 mm). Where a fire apparatus road consists of a divided roadway, the gate width shall be not less than 12 feet (3658 mm).
2. Gates shall be of the swinging or sliding type.
3. Construction of gates shall be of materials that allow manual operation by one person.
4. Gate components shall be maintained in an operative condition at all times and replaced or repaired when defective.
5. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be *approved* by the *fire code official*.
6. Methods of locking shall be submitted for approval by the *fire code official*.
7. Electric gate operators, where provided, shall be *listed* in accordance with UL 325.
8. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F2200.

D103.6 Signs. Where required by the *fire code official*, fire apparatus access roads shall be marked with permanent NO PARKING—FIRE LANE signs complying with Figure D103.6. Signs shall have a minimum dimension of 12 inches (305 mm) wide by 18 inches (457 mm) high and have red letters on a white reflective background. Signs shall be posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2.

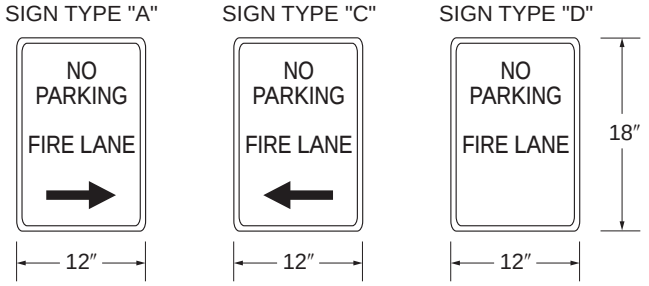


FIGURE D103.6
FIRE LANE SIGNS

D103.6.1 Roads 20 to 26 feet in width. Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide (6096 to 7925 mm).

D103.6.2 Roads more than 26 feet in width. Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26 feet wide (7925 mm) and less than 32 feet wide (9754 mm).

SECTION D104
COMMERCIAL AND INDUSTRIAL DEVELOPMENTS

D104.1 Buildings exceeding three stories or 30 feet in height. Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have at least two means of fire apparatus access for each structure.

D104.2 Buildings exceeding 62,000 square feet in area. Buildings or facilities having a gross *building area* of more than 62,000 square feet (5760 m^2) shall be provided with two separate and *approved* fire apparatus access roads.

Exception: Projects having a gross *building area* of up to 124,000 square feet (11 520 m^2) that have a single *approved* fire apparatus access road when all buildings are equipped throughout with *approved automatic sprinkler systems.*

D104.3 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.

SECTION D105
AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the *fire code official*.

D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the *fire code official*.

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SECTION D106
MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENTS

D106.1 Projects having more than 100 dwelling units. Multiple-family residential projects having more than 100 *dwelling units* shall be equipped throughout with two separate and *approved* fire apparatus access roads.

Exception: Projects having up to 200 *dwelling units* may have a single *approved* fire apparatus access road when all buildings, including nonresidential occupancies, are equipped throughout with *approved automatic sprinkler systems* installed in accordance with Section 903.3.1.1 or 903.3.1.2.

D106.2 Projects having more than 200 dwelling units. Multiple-family residential projects having more than 200 *dwelling units* shall be provided with two separate and *approved* fire apparatus access roads regardless of whether they are equipped with an *approved automatic sprinkler system*.

D106.3 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

SECTION D107
ONE- OR TWO-FAMILY RESIDENTIAL DEVELOPMENTS

D107.1 One- or two-family dwelling residential developments. Developments of one- or two-family dwellings where the number of *dwelling units* exceeds 30 shall be provided with two separate and *approved* fire apparatus access roads.

Exceptions:

1. Where there are more than 30 *dwelling units* on a single public or private fire apparatus access road and all *dwelling units* are equipped throughout with an *approved automatic sprinkler system* in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3 of the *International Fire Code*, access from two directions shall not be required.
2. The number of *dwelling units* on a single fire apparatus access road shall not be increased unless fire apparatus access roads will connect with future development, as determined by the *fire code official*.

D107.2 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

SECTION D108
REFERENCED STANDARDS

ASTM	F2200—13	Standard Specification for Automated Vehicular Gate Construction	D103.5
ICC	IFC—15	International Fire Code	D101.1, D107.1
UL	325—02	Door, Drapery, Gate, Louver, and Window Operators and Systems, with Revisions through June 2013	D103.5

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ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: County Attorney Jay Dees
DATE: January 22, 2019
SUBJECT: Public Hearing to Consider No Wake Zone for Emerald Bay Homeowners Association

---

- Hold public hearing
- Adopt Resolution
- Authorize Staff to submit any additional application requirements
- Identify financially responsible party for installation and maintenance of markers

ATTACHMENTS:

Description	Upload Date	Type
WRC Required Steps to Apply for No-Wake Zone	1/27/2020	Cover Memo
Email from WRC No Wake Zone Coordinator	1/27/2020	Cover Memo
WRC - No-Wake Zoning Matrix	1/27/2020	Cover Memo
Resolution	1/23/2020	Cover Memo
WRC Map	1/27/2020	Cover Memo

APPLYING FOR A NO WAKE ZONE

REQUEST INVESTIGATION

The local unit of government contacts No Wake Zone Coordinator to request investigation of area to determine whether statutory authority may exist for establishment of a no wake zone. Coordinator requests that Enforcement provides a recommendation to the NWZ Coordinator about whether sufficient safety hazards exist to meet the statutory authority of the WRC to enact a no wake zone in public trust waters.

RESULTS OF INVESTIGATION

NWZ Coordinator provides the local unit of government with the recommendation of Enforcement as to whether a no wake zone is necessary.

DECISION TO APPLY

Local unit of government receives a recommendation to proceed.

OR

The local unit of government receives a recommendation that a no wake zone may not be statutorily necessary. The local unit of government still may decide to apply for action by the Wildlife Resources Commission

OR

The Local unit of government decides not to proceed

No further action

APPLICATION FOR RULEMAKING

If the local unit of government decides to proceed with rulemaking, the application process begins

- state that local unit of government has given public notice of intention to apply for rulemaking on waters within territorial limits of that subdivision of the State
- provide resolution from governmental unit requesting rulemaking
- state boating safety hazard or water safety hazard prompting request complete D-1 application form

OSBM REVIEW

Upon receipt of application, No Wake Zone Coordinator submits a fiscal note for review by the Office of State Budget and Management. The agency must provide an analysis of the fiscal impact of any Administrative Rule (OSBM has 60 days to review)

CONSIDERATION BY THE NCWRC

The application for rulemaking and fiscal note review are considered by the NCWRC in official meeting.

OR

NCWRC APPROVES

NCWRC approves promulgating rulemaking for the proposed no wake zone by submitting Notice of Text in the NC Register for at least 60 days with an open comment period.

After the 60 day open comment period, the WRC, in official meeting, considers public comments and provides final adoption of the no wake zone rule.

NCWRC DENIES

NCWRC denies the applicant's request for no wake zone rulemaking. Denial by WRC is final.

No further action

RRC REVIEW

The adopted rule is sent to the Rules Review Commission for consideration of the rule at their next meeting (30 to 60 days) for

- statutory authority
- clarity
- necessity
- compliance with procedures

RULE BECOMES EFFECTIVE

With approval by RRC, the rule becomes effective on the first of the month following the meeting of the RRC and is codified in the North Carolina Administrative Code.

Rulemaking procedures must comply with requirements of the N.C. Administrative Procedure Act, NCGS 150B. Implementation timelines may vary due to regulatory reviews.

Barger, Carolyn M

From: Haywood, Betsy <betsy.haywood@ncwildlife.org>
Sent: Wednesday, January 08, 2020 3:50 PM
To: Barger, Carolyn M
Subject: Rowan County Interest in No-Wake Zone Safety Investigation at Emerald Bay
Attachments: Rowan Co High Rock Lake on Panther Creek.docx; ROWAN CO Panther Creek Three Options 15A NCAC 10F 0329.pdf; 2019 D-1 Application form.docx; NO WAKE APPLICATION FLOWCHART.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. Report suspicious emails by clicking the "**Report Phish**" button.

Dear Carolyn,

Oh my goodness – I was just sending you the information that we need to get started with this and realized – Diane Byrne, Rowan Co Information Systems already sent a request to us to investigate High Rock Lake at Panther Creek at Emerald Bay Estates! This was back in October. The last I heard, she was going to ask interested parties what part of Panther Creek they wanted to ask the County to apply for, based on an assessment by Enforcement that more of the creek or even all of the creek might benefit from placement of a no-wake zone.

I have attached the completed assessment matrix and map that our GIS specialist drew, showing each possibility for Panther Creek.

The next step is for Rowan County to give public notice to your citizens that you intend to consider submitting an application. Of course we will need a description of what the Board wishes to designate as the no-wake zone since there are several options. Then please send the application along with a Resolution or official letter that requests the WRC to consider voting to begin rulemaking. Along with that we need a statement as to whether the County or someone it designates will be responsible for initial purchase and placement of any markers once the rule is codified. We need that because this agency is required to submit a Fiscal Analysis to the Office of State Budget and Management to show any expenses that will be incurred by a county or municipality as the result of rulemaking. If the County is not purchasing markers I won't need to prepare a Fiscal Note.

So perhaps this will be easier than we thought. I hope so. Please let me know if I can answer more questions. If you decide to proceed, keep in mind that the next meeting of the WRC is February 27 and I would need time to create the Fiscal Note before the commission to review too.

Best regards, Betsy

Betsy Haywood
Commission Liaison//No Wake Zone Coordinator
Director's Office
(919)707-0013

Email correspondence to and from this sender is subject to the N.C. Public Records Law and may be disclosed to third parties.

NO-WAKE ZONING MATRIX

SECTION 1:

Name of organization/entity: _*Rowan County__15A NCAC 10F .0329__*

Primary contact information: *Diane Byrne, Rowan Co Information Systems 704-216-8123*

Exact location of requested no-wake zone:

Body of water: _*High Rock Lake*_____

Location: *Panther Creek shore to shore west of a line that is 50 yards east of community piers at Emerald Bay, at 35.59556 N, 80.26695 W*_____

Popular name of area, if any: _*Emerald Bay Estates (if road access is needed the gate code is 6688)*_

Width of No-Wake Zone: Narrowest Point:____ Widest Point:____

Brief Description of area (example: bridge overpass, obstructed views, Intracoastal Waterway; etc) _____

Attach map of designated no-wake zone

Ensure proposed no-wake zone map/and or location is agreed upon by point of contact

Attach detailed reason given from point of contact for the request

Reports that more boats with heavy displacement hulls are travelling in the narrow cove causing damage to boats, docks, shoreline, and even displacing boat fenders, and boats pulling young tubers are swinging dangerously close to docks. This entire cove is reported to be very congested on weekends. One contact suggested the entire cove be marked but the request for investigation is west of the line on the map. Please advise what might be helpful to mitigate safety hazards (if you think advisable)

Is the proposed no-wake zone located within an area that is regulated by the U.S Army Corp of Engineers or the Division of Coastal Management (CAMA) i.e.; Intracoastal Waterway?

YES ☐

NO ☒

(When dealing with the point of contact, please advise that placement of markers in these waters is subject to prior approval of above agency in waters where applicable. NCWRC has no authority to supersede these rules.)

SECTION 2:

PUBLIC SAFETY HAZARD

What public safety hazard exists?
__NONE_____

Is this a public swimming or recreational area?

NO ☐

YES ☐ would the establishment of a swimming area or placement of regulatory buoys be more appropriate? YES ☐ NO ☐

SECTION 3:

NAVIGATIONAL HAZARDS

Identify any and all potential hazards associated with the proposed no-wake zone (check all that apply)

OBSTRUCTIONS ☐ (Identify)
___NONE_____

NARROW CHANNEL ☐ (give approximate width) ___RANGE FROM 290'-400'_____

SHALLOW WATER ☐ (give average depth) __AT START OF PROPOSED NO WAKE ZONE IS 8'-15' AND AT THE BACK OF THE CREEK AT THE HAZARD BOUY IS APPROXIMATELY 5' AVERAGE IN CHANNEL_____

OBSTRUCTED VISION ☐ (for approximately how great a distance)
_____NONE_____

STRUCTURES (Check all applicable)

- ☐ DAM
- ☐ SPILLWAY
- ☐ FLOOD CONTROL STRUCTURE
- ☐ TRESTLE
- ☐ POWER LINE
- ☐ FUELING DOCK
- ☐ LOCK
- ☐ JETTY
- ☐ SUBMERGED STRUCTURE
- ☐ SANDBAR
- ☐ SHOAL
- ☐ PRIVATE DOCKS

☐ RESTURANT DOCKS ☐ BRIDGE

☐ ACCESS AREA/BOAT LAUNCH ☐ PIER

OTHER (list and describe) _____

_____

SECTION 4:

If approved, will the no-wake zone extend into a designated channel?

NO ☐

YES ☐ (if yes, identify on map)

What is the total distance boaters will travel at a no-wake speed ___APPROXIMATELY 1,000 FT TO LAST DOCK ON RIGHT_____

Estimated time to travel for boaters through the proposed no-wake zone at no-wake speed __3 MINUTES TO LAST DOCK ON RIGHT___

SECTION 5:

List any other known incidents, safety concerns or problems that have occurred? __NO KNOWN INCIDENTS OR COMPLAINTS FROM THE PUBLIC

_____

_____

==========

Rate traffic density in this area from light to heavy **LIGHT** 1 2 3 4 5 6 7 8 9 10 **HEAVY**

Is traffic density specific to weekend/and or holidays? __BOTH WEEKENDS AND HOLIDAYS_____

Does traffic density or ability to maneuver a vessel due to traffic cause safety issues? YES ☐ NO ☐

_____

Rate the likelihood of an incident occurring in this area compared to other similar areas on this same body of water **VERY UNLIKELY** 1 2 3 4 5 6 7 8 9 10 **MORE LIKELY**

SECTION 6:

OFFICER RECOMENDATION

YES: ☐

NO: ☐

Reason for decision: _IF THIS NO WAKE ZONE IN PARTICULAR WAS APPROVED IT WOULD PUSH THE ISSUE TO THE NEXT RESIDENCE WHERE THE NO WAKE ZONE BOUYS WOULD BE LOCATED WHICH IS A NARROW CHANNEL. I BELIEVE IF A WAKE ZONE WERE TO BE ESTABLISHED, IT SHOULD BE AT GPS 35.596938, -80.264518 WHERE THERE WOULD BE A WIDER TURN AROUND AREA. THE LENGTH OF TRAVEL WOULD BE APPROX. 2,000' TO LAST DOCK ON RIGHT AND WOULD TAKE APPROX. 6 MINUTES AT A NO WAKE SPEED. THE NEXT OPTION WOULD BE TO MAKE THE ENTIRE CREEK A NO WAKE ZONE BEGINNING AT GPS 35.601865, -80.257379. APPROX. DISTANCE IS .9 MILES WHICH WOULD TAKE APPROX. 12-15 MINUTES TO TRAVEL TO LAST DOCK ON RIGHT.

Officer:_C.A. WALKER 916_____

Greg Edds, Chairman
Jim Greene, Vice-Chairman
Mike Caskey
Judy Klusman
Craig Pierce

Aaron Church, County Manager
Carolyn Barger, Clerk to the Board
John W. Dees, II, County Attorney

Rowan County Board of Commissioners
130 West Innes Street • Salisbury, NC 28144
Telephone 704-216-8180 • FAX 704-216-8195

RESOLUTION
To Establish No Wake Zone
In Vicinity of Panther Creek / Emerald Bay Community Piers

WHEREAS, under authority of North Carolina General Statutes Section 75A-15 any subdivision of the State of North Carolina may at any time, after public notice, make formal application to the Wildlife Resource Commission for special rules and regulations with reference to the safe and reasonable operation of vessels on any water within its territorial limits; and

WHEREAS, Rowan County has given public notice of its intention to make formal application to the Wildlife Resources Commission for special rules and regulations with reference to the safe and reasonable operation of vessels on High Rock Lake within the territorial limits of Rowan County, and for the implementation of the Uniform Waterway Marker System in all the waters of the County.

NOW, THEREFORE BE IT RESOLVED, that in accordance with NCGS 75A-15, the Board of Commissioners of Rowan County requests the North Carolina Wildlife Resources Commission to promulgate special rules and regulations with reference to safe and reasonable operation of vessels on the waters of High Rock Lake located in said County, the pertinent substance of which proposed regulations is as follows:

No wake zone in the waters of High Rock Lake from the Panther Creek shore to shore
west of a line that is 50 yards east of community piers
at Emerald Bay at 35.59556 N, 80.26695 W or for any distance
deemed appropriate by the Wildlife Resources Commission

BE IT FURTHER RESOLVED, that the Rowan County Board of Commissioners requests the said Commission to promulgate regulations fully implementing the Uniform Waterway Marker System in all of the waters of said County.

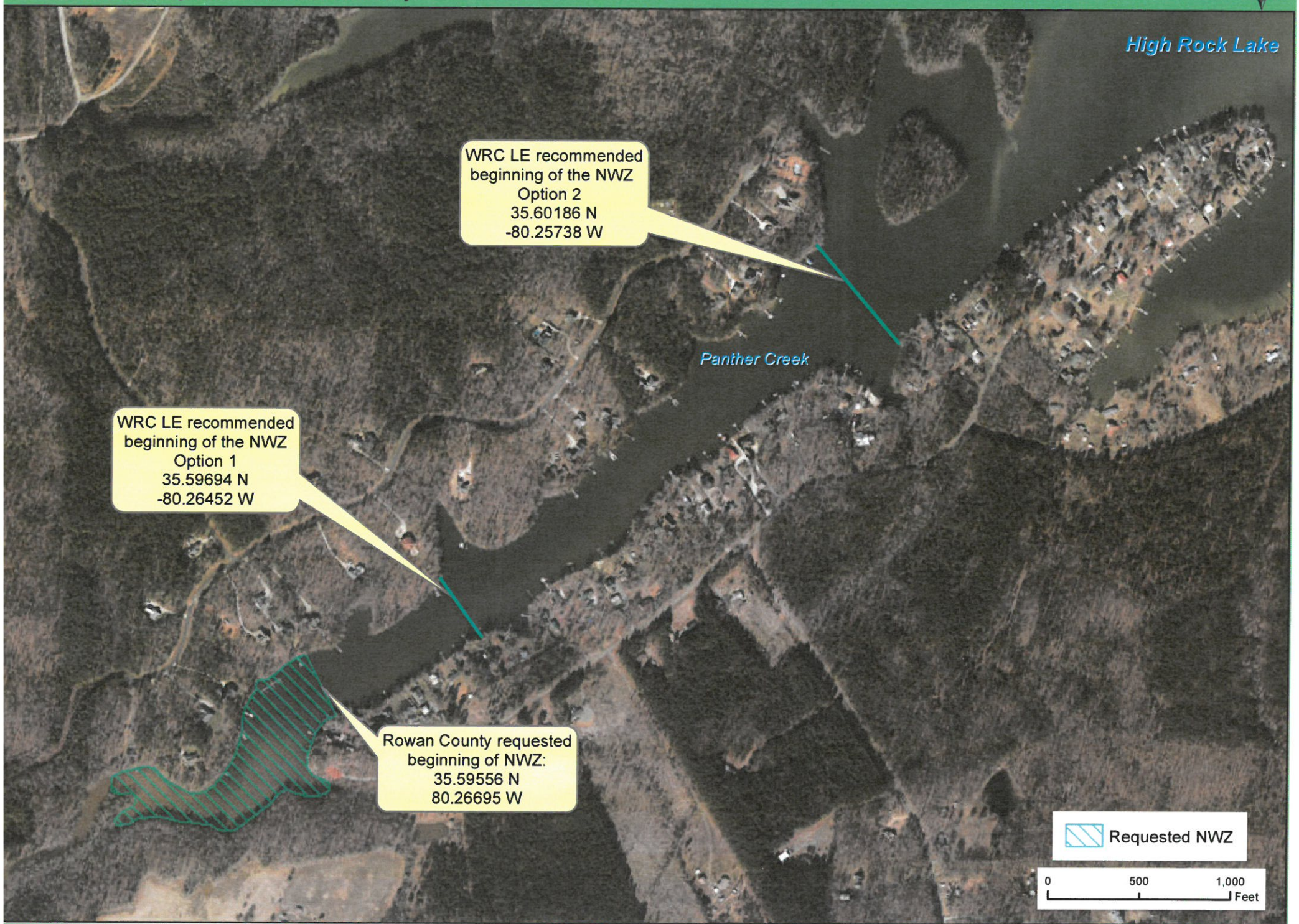
This the 3rd day of February, 2020.

_____
Gregory C. Edds, Chairman
Board of Commissioners

ATTEST:

_____
Carolyn Barger, MMC, NCMCC
Clerk to the Board

15A NCAC 10F .0329 - Requested No Wake Zone
Panther Creek, High Rock Lake, Rowan County



eated by WRC: December 2019

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Melissa Bunker, Regional Executive, Cardinal Innovations
DATE: January 24, 2020
SUBJECT: Update Regarding Cardinal Innovations Healthcare

ATTACHMENTS:

Description	Upload Date	Type
Southern Region Governance Report	1/27/2020	Cover Memo

SOUTHERN REGION COMMUNITY GOVERNANCE REPORT

Quarter 3 – January – March 2020

Cardinal Innovations HEALTHCARE®

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OUR MISSION

To improve the health and wellness of our members and their families.

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INTRODUCTION

- Cardinal Innovations – Governance Structure
- Partnership
- Healthy Rowan Community Coalition – Overview
- Rowan BOCC and the Rowan County Advisory Council

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INTRODUCTION

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COMMUNITY IMPACT

- Collaboration on Community Gaps/Needs
- Drive Outcomes for Communities at Local Level
- Voting on Future Financial Investments
- Health Council Facilitation by Regional Executive
  - Meets Quarterly
  - 7-15 Members each
  - 4 Regions - 4 Health Councils – 5 Counties Each
  - First meeting was Jan. 27 – next is April

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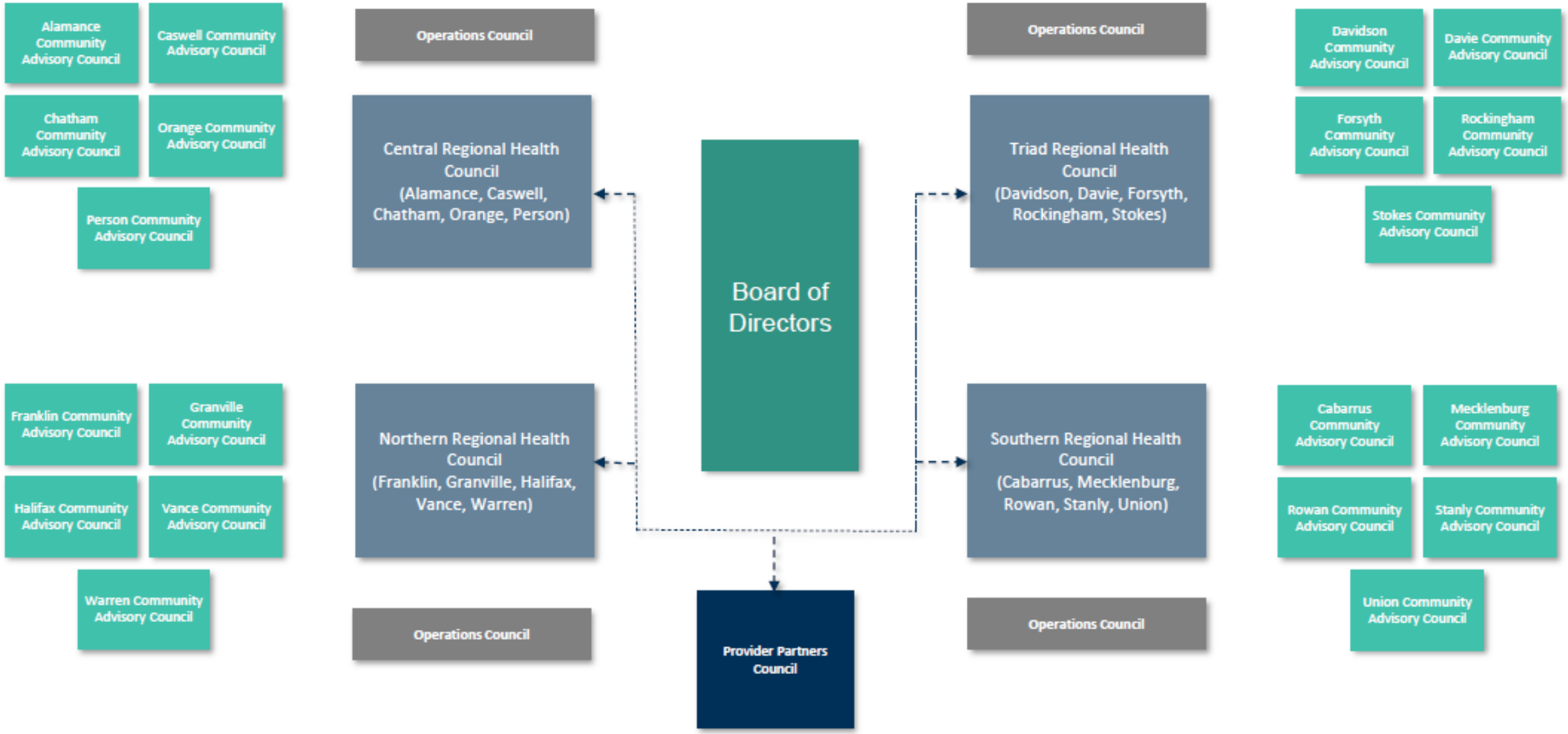
DETAILED STRUCTURE



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REGIONAL HEALTH COUNCILS

- Integrated Healthcare Membership
- Health Council Facilitation by Region SCE
- Meets Quarterly
- 7-15 Members each
- 4 Regions - 4 Health Councils – 5 Counties Each
- First meeting was Jan. 27 – next is April

Southern Regional Health Council
(Cabarrus, Mecklenburg, Rowan, Stanly, Union)

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SOUTHERN REGION HEALTH COUNCIL

Position	Name
CFAC Rep	Jeff Philips
Cardinal	Melissa Bunker
BOD	Beverly Morrow
DSS	Donna Fayko
Non-CFAC Member	Janet Breeding
3rd Member/Family	Gwen Bartley
County Commissioner	Judy Klusman
Stakeholder	Neetu Verma
Behavioral Health	Pamela Rankin
Physical Health	Angela Miccoluci
CAC Chair	TBD
CAC Chair	TBD
CAC Chair	TBD
CAC Chair	TBD
CAC Chair	TBD
Flex Position	Nicole French

3+

COUNTY COMMUNITY ADVISORY COUNCILS

- 4 Regions - 20 Community Advisory Councils
- 7-15 Members each
- Integrated Healthcare Membership
- Healthy Rowan Steering Committee
- Meets 2x/Quarter – ahead of RHC meeting
- Open to Community

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COMMUNITY ADVISORY COUNTIES (CAC)

Purpose

Assisting the Regional Health Council in the following roles and activities:

- Serving as a conduit for residents of each geographic area in the region to ask questions and raise concerns
- Providing a link back to community constituents to aid in achieving the Regional Health Council's Vision and Guiding Principals (similar function of Community Boards and others)

Membership

See next slide

Appointment

Application submitted

Voting members approved by respective Board of County Commissioners

Meeting Cadence

Eight (8) times per year, preferably in the months preceding each Regional Health Council quarterly meeting

Reports to Regional Health Council quarterly

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HEALTHY ROWAN PARTNERSHIP

CURRENT COMMUNITY PARTNERS MEMBERSHIP

- Behavioral health providers
- Department of Social Services
- Hospitals
- School systems
- System of Care

COMMUNITY ADVISORY COUNCIL MEMBERSHIP

Membership could come from but not limited to:

- Members and/or Family Members
- County Commissioners
- Physical Health Providers
- Behavioral Health Providers
- Public Health
- Hospital
- School Systems
- Public Safety
- DSS
- CFAC Members
- Judicial system
- System of Care

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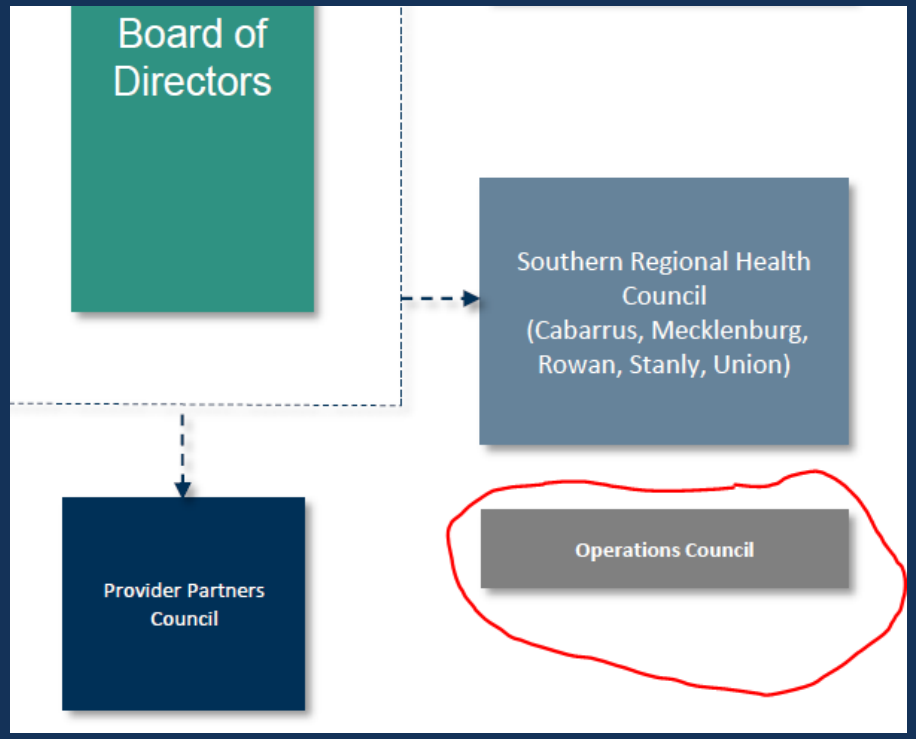
REGIONAL OPERATIONS COUNCIL

- 4 Regions - 4 Operations Councils – 5 Counties Each
- Workhorse Data Measurement and Analytics
- Proposed Membership by Local Area:
  - Health Departments
  - Hospitals
  - Cardinal Innovations
- Meets Quarterly – month prior to RHC



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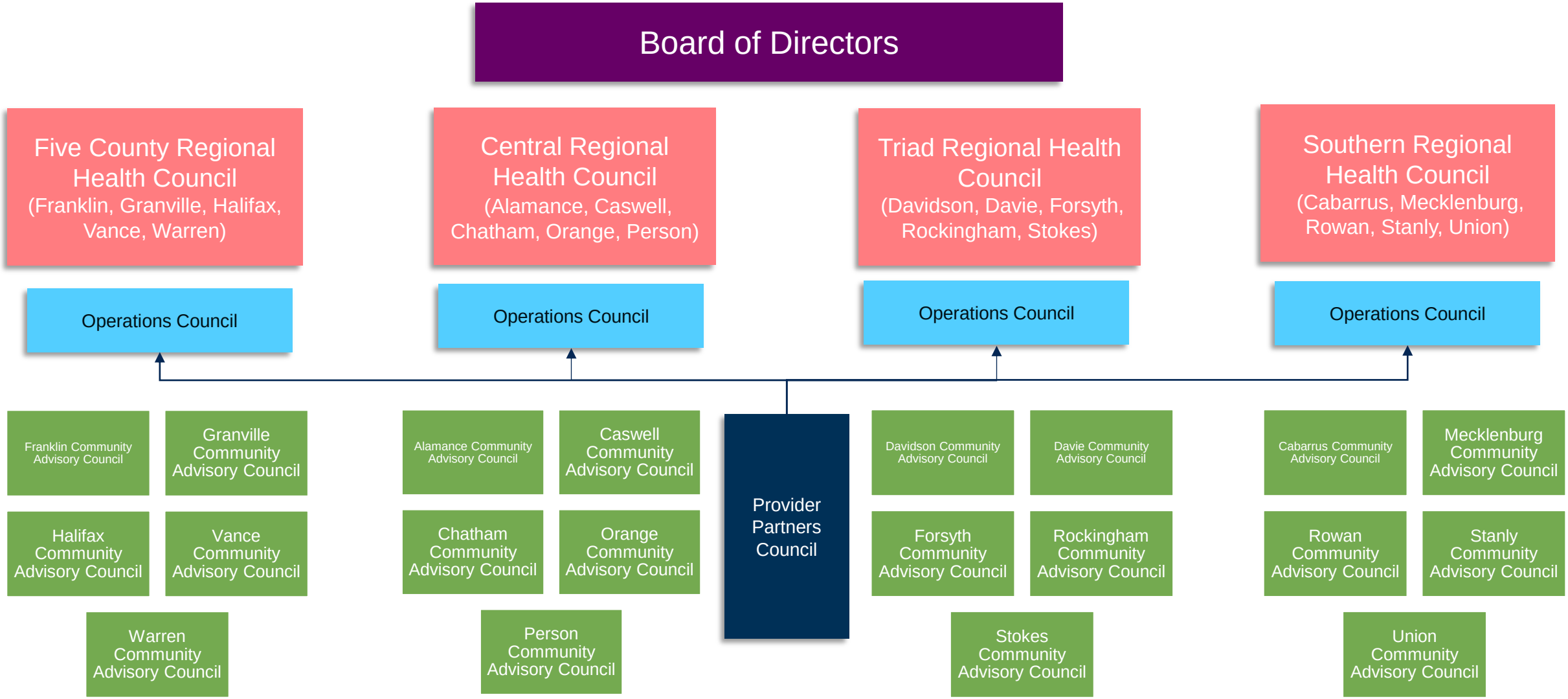
DIFFERENT VIEW OF STRUCTURE



HEALTHY ROWAN

History and Partnership

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Healthy Rowan Partnerships

Rowan County Department of Social Services
Be an original.

Healthy Rowan
A Community Coalition Rowan County, NC
Be an original.

Rowan County Public Health
Prevent. Promote. Protect.
Be an original.

Terrie Hess House
Prevent Child Abuse Rowan

The City of Salisbury North Carolina Parks and Recreation

Cabarrus Rowan Community Health Centers, Inc.

the YMCA

Smart Start Rowan

St. John's Lutheran Church

Center for Prevention Services

Community Care Clinic of Rowan County, Inc.

Novant Health

Cardinal Innovations Healthcare

Muddy Sneakers
the joy of learning outside

Communities In Schools Rowan County

Bread Riot
Local Food Advocacy

St. Peter's Lutheran Church

Trinity Health At Home

The City of Salisbury North Carolina

Salisbury Rowan County Farmers' Market

Housing Authority of the City of Salisbury, N.C

Rowan-Salisbury School System
Extraordinary Education Every Day

Rowan County North Carolina
Be an original.

Rowan Chamber
Chamber of Commerce
Be an original.

Healthy Rowan Community Coalition

- Governed by a seven-member Executive Board.
- Comprised of more than 25 community partners meeting monthly.
- Financially supported by The Duke Endowment and the Healthy People, Healthy Carolinas initiative

Function:

- Advocates for health in all policies
- Provides support and implements evidence-based interventions
- Facilitates collaboration between agencies to improve health outcomes in Rowan County.

Healthy People
Healthy Carolinas

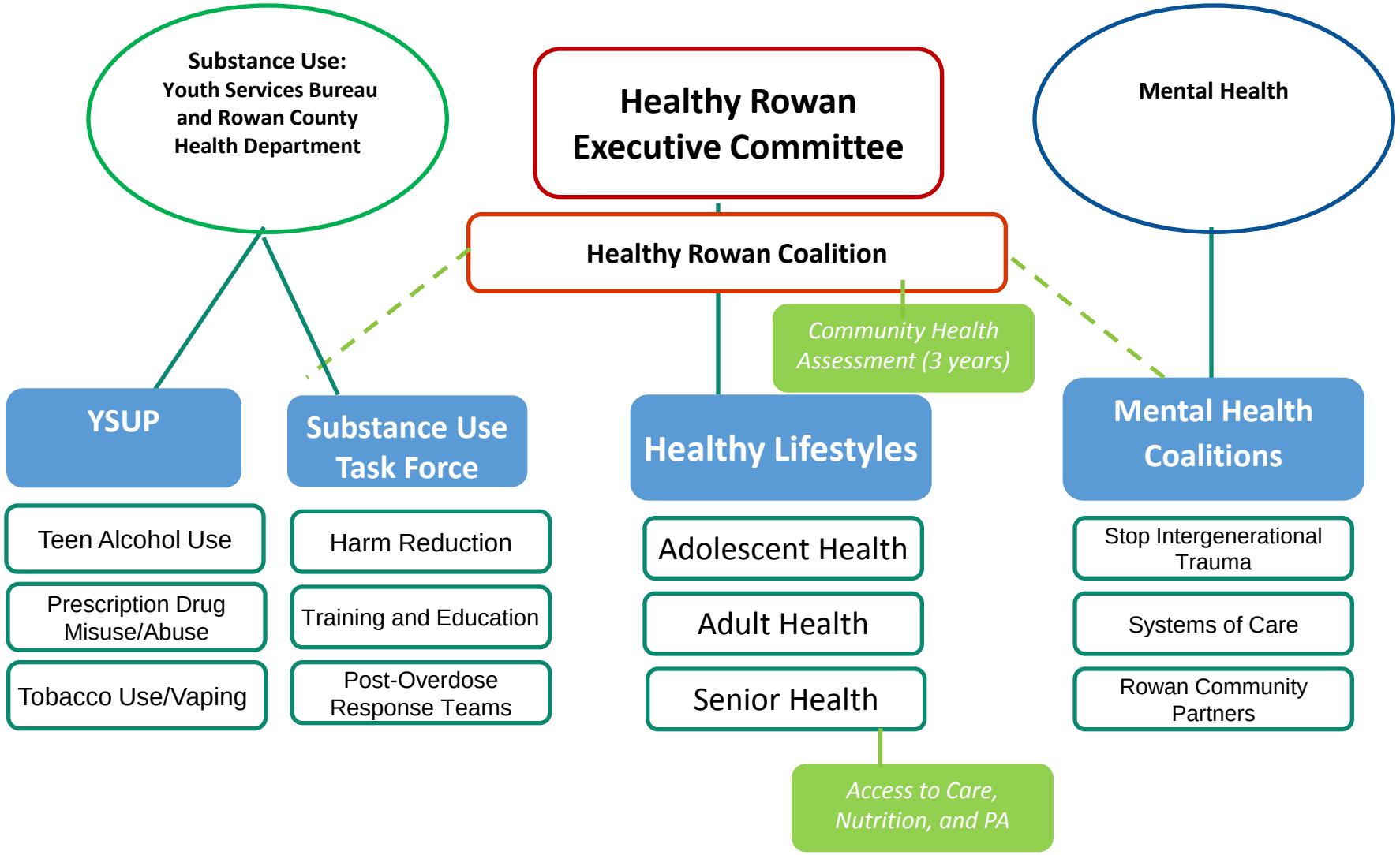
Community Betterment & Collaborative Empowerment

Ways We Work Together

Networking	Coordinating	Cooperating	Collaborating
A public health department and community health center **exchange information** about how they each support healthy early child development.	A public health department and community health center exchange information about how they each support healthy early child development, and **decide to** alter service schedules so that they can provide their **combined support** in a more user-friendly manner.	A public health department and a community health center exchange information about how they each support healthy early child development, decide to alter service schedules, and **agree to share** neighborhood outreach resources to increase the effectiveness of their support	A public health department and a community health center exchange information about how they each support healthy early child development, decide to alter service schedules, share neighborhood outreach resources, and provide skill development training for each other's staff to **enhance each other's capacity** to support health early child development

Institute of Medicine. 2015. *The Role and Potential of Communities in Population Health Improvement: Workshop Summary*. Washington, DC: The National Academies Press. https://doi.org/10.17226/18946.

Rowan County Priority Area Reporting Structure



Healthy Rowan structure and partnership with Community Care Clinic of Rowan

December 2018

ROWAN CAC VOTING MEMBERS

No separate meetings

Combined agendas and partnership voting structure

Potentially seek additional voting members for Rowan CAC

Current Members – Healthy Rowan Executive Committee

- Alyssa Smith – Chairwoman
- Christa Wooley – Community Care Clinic
- Nina Oliver – Director Health Department
- Dari and/or Jessica – Novant Health Rowan
- Karen Alexander – Salisbury City Council
- Judy Klusman – Rowan County Commissioner

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QUESTIONS AND FEEDBACK

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ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

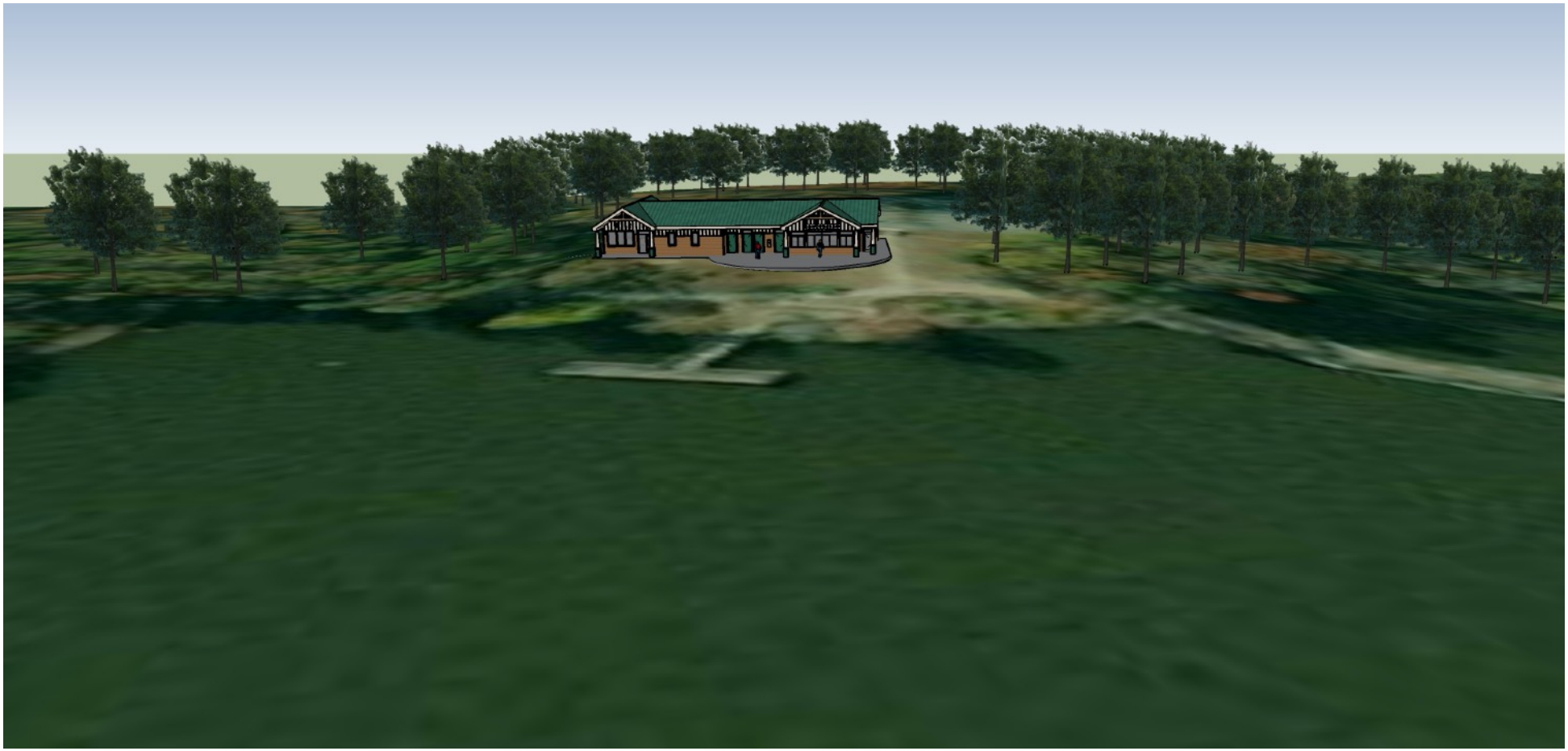
FROM: Don Bringle, Director of Facilities Management, Parks and Recreation
DATE: 1/24/2020
SUBJECT: Parks Concession Stand/Offices Approval

To replace 51 year old concession stand at Dan Nicholas Park. Don Bringle and Pete Bogle from Bogle Architecture will present information to approve design of new concession/ office building.

ATTACHMENTS:

Description	Upload Date	Type
Blue Print and Color Scheme	1/27/2020	Cover Memo
Colored Elevation Drawings	1/27/2020	Cover Memo
Presentation Plan	1/27/2020	Cover Memo
Progress Drawings	1/27/2020	Cover Memo

CONCESSION



CONCESSION

STATION

CONCESS

CONCESSIONS

OFFICE

PUBLIC RESTROOMS
ATM

FLOORPLAN

TOTAL BUILDING GSF = 3,543

SITE PLAN

DAN NICHOLAS
CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

the BOGLE FIRM
ARCHITECTURE

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Dan Nicholas Park Concession
Address: 6800 Bringle Ferry Rd, Salisbur NC Zip Code 28146
Owner/Authorized Agent: Pete Bogle Phone # (704) 638-2015 E-Mail pete@boglefirm.com
Owned by: County
Code Enforcement Jurisdiction: County

CONTACT: Pete Bogle

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	Bogle Firm Architecture	Pete Bogle	10100	(704) 213-4553	pete@boglefirm.com
Civil	King Engineering of Concord	Sam King Jr.	14520	(828) 403-5586	samkingjr@gmail.com
Electrical	Design Engineering	David Smith	11207	(336)224-0100	dsmith@lexcomnc.net
Fire Alarm				( )	
Plumbing	SECollins Engineering	Sam Collins	31024	(704) 638-6337	secollins@secollinseng.com
Mechanical	SECollins Engineering	Sam Collins	31024	(704) 638-6337	secollins@secollinseng.com
Sprinkler-Standpipe				( )	
Structural	Ritchie Engineering	Philip Ritchie	13509	(704)251-3313	pritchie@rkdesign.com
Retaining Walls >5' High				( )	
Other				( )	

("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: New Building
2018 NC EXISTING BUILDING CODE: Select one Select one Select one
CONSTRUCTID: (date) _____ **CURRENT OCCUPANCY(S)** (Ch. 3): _____
RENOVATED: (date) _____ **PROPOSED OCCUPANCY(S)** (Ch. 3): _____
RISK CATEGORY (Table 1604.5): **Current:** II **Proposed:** II

BASIC BUILDING DATA
Construction Type: V-B
Sprinklers: No Select one
Standpipes: No
Primary Fire District: No **Flood Hazard Area:** No
Special Inspections Required: No

Gross Building Area Table

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3rd Floor			
2nd Floor			
Mezzanine			
1st Floor	0	3,543	3,543
Basement			
TOTAL	0	3,543	3,543

ALLOWABLE AREA
Primary Occupancy Classification(s): Business Select one Select one Select one Select one Select one
Accessory Occupancy Classification(s): _____
Incidental Uses (Table 509): _____
Special Uses (Chapter 4 – List Code Sections): _____
Special UCW Provisions: (Chapter 5 – List Code Sections): _____
Mixed Occupancy: No Separation: Select one Exception: _____
Non-Separated Use (508.3)

$$\frac{\text{Actual Area of Occupancy } A}{\text{Allowable Area of Occupancy } A} + \frac{\text{Actual Area of Occupancy } B}{\text{Allowable Area of Occupancy } B} \leq 1$$

$$____ + ____ + \ldots = ____ \leq 1.00$$

STORY NO.	DESIGNATION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(D) TABLE 506.2[4] AREA	(C) AREA FOR FRONTAGE INCREASE[1,2]	(D) ALLOWABLE AREA PER STORY OR UNLIMITED[2,3]
1	B	3,543	9,000	3,780	7,323

[1] Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = 276 (F)
b. Total Building Perimeter = 332 (P)
c. Ratio (F/P) = .9 (F/P)
d. W = Minimum width of public way = 20 (W)
e. Percent of frontage increase $I_f = 100[F/P - 0.25] \times W/30 =$ 42 (%)
[2] Unlimited area applicable under conditions of Section 507.
[3] Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
[4] The maximum area of open parking garages must comply with Table 406.5.x.
[5] Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE[5]
Building Height in feet (Table 504.3)[2]	40	+/- 18'	
Building Height in Stories (Table 504.4)[2]	2	1	

[1] Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
[2] The maximum height of air traffic control towers must comply with Table 412.3.1.
[3] The maximum height of open parking garages must comply with Table 406.1.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (No ___* REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls		0					
Exterior		0					
North		0					
East		0					
West		0					
South		0					
Interior		0					
Nonbearing Walls and Partitions							
Exterior walls							
North		0					
East		0					
West		0					
South		0					
Interior walls and partitions		0					
Floor Construction Including supporting beams and joists							
Floor Ceiling Assembly		0					
Columns Supporting Floors		0					
Roof Construction, including supporting beams and joists							
Roof Ceiling Assembly		0					
Columns Supporting Roof		0					
Shaft Enclosures - Exit		0					
Shaft Enclosures - Other		0					
Corridor Separation		0					
Occupancy/Fire Barrier Separation		0					
Party/Fire Wall Separation		0					
Smoke Barrier Separation		0					
Smoke Partition		0					
Tenant/Dwelling Unit/ Sleeping Unit Separation		0					
Residential Use Separation		0					

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
> 30'	UP, NS	NO LIMIT	NO LIMIT

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes
Exit Signs: Yes
Fire Alarm: No
Smoke Detection Systems: Yes
Carbon Monoxide Detection: No

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes
Exit Signs: Yes
Fire Alarm: No
Smoke Detection Systems: Yes
Carbon Monoxide Detection: No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: CS2

- ☐ Fire and/or smoke rated wall locations (Chapter 7)
- ☐ Assumed and real property line locations (if not on the siteplan)
- ☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
- ☐ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
- ☒ Occupant loads for each area
- ☒ Exit access travel distances (1017)
- ☐ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
- ☐ Dead end lengths (1020.4)
- ☒ Clear exit widths for each exit door
- ☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
- ☐ Actual occupant load for each exit door
- ☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
- ☐ Location of doors with panic hardware (1010.1.10)
- ☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
- ☐ Location of doors with electromagnetic egress locks (10101.9.9)
- ☐ Location of doors equipped with hold-open devices
- ☐ Location of emergency escape windows (1030)
- ☐ The square footage of each fire area (202)
- ☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
- ☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS
SECTION 1107)

TOTAL UNITS	ACCESSIBLE # UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A							

ACCESSIBLE PARKING
SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACE PROVIDED: REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	VAN SPACES WITH 8' ACCESS AISLE	TOTAL # ACCESSIBLE PROVIDED
Existing		84				
New		3	3		1	4
TOTAL		87	3		1	4

PLUMBING FIXTURE REQUIREMENTS
TABLE 2902.1)

USE		WATERCLOSETS			URINALS		LAVATORIES			SHOWER	DRINKING FOUNTAINS	
		MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX		SPACE	REGULAR	ACCESSIBLE
SPACE	EXISTING											
	NEW	3	4	1	1	3	3	1		2	1	
	REQ'D	1	1	0	0	1	1	0		1	1	

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, IHHS, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Select one

Exempt building: No Provide code or statutory reference: _____

Climate Zone: 3A

Method of Compliance: Energy Code - Prescriptive
(If "Other" specify source here) _____

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly: _____
U-value of total assembly: 0.034
R-value of insulation: R30
Skylights in each assembly: N/A
U-Value of skylight: N/A
total square footage of skylight in each assembly: NA

ROOF ASSEMBLY
STANDING SEAM MTl ROOF
5/8" OSB
ROOF UNDERLAYMENT
PREFAB WOOD TRUES
30R BATT INSULATION

Exterior Walls (each assembly)
Description of assembly: 0.064
U-value of total assembly: R20 BATT
R-value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: 0.32 OR 0.77 (DOOR)
Solar heat gain coefficient: .25
projection factor: <.25
Door R-Values: 0.7

WALL ASSEMBLY
FIBER CEMENT SIDIN
7/16" ZIP SYSTEM SHEITHING
ZIP SYSTEM TAPE ALISEAMS
2X6 WD FRAMING
R20 GLASS FIBER BATT
5/8" GWB

Walls below grade (each assembly)
Description of assembly: N/A
U-value of total assembly: _____
R-value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: N/A
U-value of total assembly: _____
R-value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-value of total assembly: N/A
R-value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

SLAB ON GRADE
15 MIL VAPOR BARRIER, TAPED
4" WASHED GRAVEL
COMPACTED SOIL

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone SEE MECHANICAL
water dry bulb: _____
summer dry bulb: _____

Interior design conditions
water dry bulb: _____
summer dry bulb: _____
relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanica Spacing Conditioning Syem
Unitary
description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boler
Size category. If oversized, state reason.: _____
Chiller
Size category. If oversized, state reason.: _____

List equipment efficiencies: _____

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow (I_s) Select one
Seismic (I_E) Select one

SEE STRUCTURAL

Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor _____ psf

Ground Snow Load: _____ psf

Wind Load: Ultimate Wind Speed _____ mph (ASCE-7)
Exposure Category Select one

SEISMIC DESIGN CATEGORY: Select one
Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) Select one
Spectral Response Coefficients S_{DS} _____ S_{D1} _____ S_{ds} _____ S_{d1} _____
Site Classification (ASCE 7) Select one
Data Source: Select one
Basic structural system Select one
Analysis Procedure: Select one
Architectural, Mechanical, Components anchored? Select one

LATERAL DESIGN CONTROL: Select one

SOIL BEARING CAPACITIES:
Select one _____ psf
Pile size, type, and capacity _____

GENERAL NOTES

1. WHERE ACRONYMS OR ABBREVIATIONS ARE USED ON THE PLANS, THEY ARE DEFINED TO MEAN THE RECOGNIZED NAME OF THE PERSON, OBJECT, MATERIAL TYPICALLY USED IN THE CONSTRUCTION INDUSTRY. INCLUDED (BUT NOT LIMITED TO):

   CMU - CONCRETE MASONRY UNIT
   GYP. BD. - GYPSUM BOARD
   GC - GENERAL CONTRACTOR
   ELECT CONTR (EC) - ELECTRICAL CONTRACTOR
   PLUMB CONTR (PC) - PLUMBING CONTRACTOR
   HVAC - HEATING, VENTILATING AND AIR CONDITIONING
   WWF - WELDED WIRE FABRIC (ALSO WWM)
   UNO or UON - UNLESS NOTED OTHERWISE
   MTL - METAL
   HM - HOLLOW METAL
   TYP. - TYPICAL
   RE-BAR - REINFORCING BAR
   W/ - WITH
   @ x O.C. - AT 'x' DISTANCE ON CENTER

2. PRESUMPTIVE SOIL BEARING CAPACITY OF 2000 PSF. IF CONTRACTOR SUSPECTS LESSER BEARING CAPACITIES, PROMPTLY NOTIFY THE ARCHITECT.
3. GENERAL CONTRACTOR TO ACT AS PROJECT COORDINATOR.
4. CAULK ALL JOINTS AROUND DOOR AND WINDOW FRAMES AND OTHER POTENTIAL AIR, LIGHT AND WATER PASSAGES. TYPICAL AT INTERIOR AND EXTERIOR CONDITIONS. FILL ANY VOIDS GREATER THAN 1/2" W/ MATERIAL MATCHING ADJACENT CONSTRUCTION, OR AS APPROVED BY ARCHITECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE VISITS REQUIRED TO THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE BUILDING CONDITIONS, VERIFY LOCATION OF ALL PROPERTY BOUNDARIES, ELEVATIONS, EXISTING UTILITIES, STORM LINES, CATCH BASINS, PRIOR TO SUBMITTING BID.
6. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS, FEES, ETC. AND DISPLAY PERMITS AS PER LOCAL ORDINANCES. BUILD & DISPLAY CONSTRUCTION SIGN PER SPECIFICATIONS.
7. CONSTRUCTION STAGING AREA SHALL BE LIMITED TO THE AREAS DIRECTLY ADJACENT TO THE BUILDING. ALL DRIVEWAYS SHALL REMAIN UNENCUMBERED WITH CONSTRUCTION MATERIALS OR EQUIPMENT. SEE DEMO NOTES & SITE NOTES.
8. ALL RUBBISH FROM DEMOLITION AND/OR CONSTRUCTION SHALL BE REGULARLY REMOVED FROM THE SITE.
9. PROVIDE BARRIERS AT ALL PLACES ON SITE WHERE REQUIRED TO PROTECT THE PUBLIC.
10. EACH TRADE IS RESPONSIBLE FOR MAKING PROVISIONS FOR NECESSARY FLOOR, WALL, AND ROOF PENETRATIONS REQUIRED FOR THEIR WORK. SUCH PENETRATIONS BEING COORDINATED WITH THE GENERAL CONTRACTOR. ROOFING SUB-CONTRACTOR SHALL MAKE ALL PENETRATIONS WATERTIGHT.
11. STUD PARTITION WALLS ARE TO BE FILLED W/ SOUND INSULATION WHERE SHOWN. SEE WALL TYPES.
12. PROVIDE SOLID WOOD BRACING & BLOCKING WITHIN ALL STUD PARTITIONS @ WALL MOUNTED SHELVING, CHAIR RAILS, HANDICAPPED RAILS, TOILET ACCESSORIES, MARKER BOARDS, EWC, FEC, DOOR STOPS, CORRIDOR HANDRAILS, ETC.
13. DO NOT APPLY CONCRETE SEALER ON FLOORS TO RECEIVE HARD TILE, SETTING BEDS, OR OTHER FINISHES REQUIRING UNSEALED CONCRETE. SEE FINISH SCHEDULE.
14. MIN. DIMENSION ON LATCH SIDE OF INTERIOR DOORS IS 18" ON PULL SIDE OF DOORS (FRONT APPROACH), 24" ON PULL SIDE OF DOOR (SIDE APPROACH), & 12" ON PUSH SIDE OF DOORS.
15. PROTECT EXISTING UTILITIES UNTIL NEW SERVICE ROUTES ARE INSTALLED AND FUNCTIONAL. SCHEDULE AND COORDINATE SERVICE DISRUPTION AND SERVICE CHANGEOVER WITH THE OWNER PRIOR TO ANY DISRUPTION OCCURRING.
16. MAKE ALL NECESSARY PROVISIONS AND PENETRATIONS FOR INSTALLATION OF CONSTRUCTION INDICATED ON RENOVATION DRAWINGS INCLUDING PLUMBING, MECHANICAL, AND ELECTRICAL PENETRATIONS NEEDED. WHEN PROVIDING OPENINGS IN STRUCTURAL CONCRETE FLOOR SLABS.
17. CONTRACTORS ARE REQUIRE TO FOLLOW ALL OSHA REGULATIONS IN CONJUNCTION WITH ALL DEMOLITION AND CONSTRUCTION.

DAN NICHOLAS PARK CONCESSION

6800 BRINGLE FERRY ROAD
SALISBURY , NC

PROJECT TEAM

OWNER
ROWAN COUNTY
130 W INNES ST
SALISBURY, NC 28144
T: 704-216-7818
E: DON.BRINGLE@ROWANCOUNTYNC.GOV
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CONTACT: PHILIP RITCHIE

CIVIL
KING ENGINEERING OF CONCORD
401 POTEAT DR
MORGANTON, NC 28655
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CONTACT: SAM KING JR

PLUMB / MECH
SE COLLINS CONSULTING ENGINEERS
1817 E INNES ST
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E: SCOLLINS@SCOLLINSENG.COM
CONTACT: SAM COLLINS

ELECTRICAL
DESIGN ENGINEERING
1298 E HOLLY GROVE RD
LEXINGTON NC, 27292
T: 336-224-0100
E: DSMITH@LEXCOMINC.NET
CONTACT: DAVID SMITH

INDEX OF DRAWINGS

COVER SHEETS
CS1 COVER SHEET, APPENDIX B AND INDEX
CS2 LIFE SAFETY PLAN

CIVIL
C1.0 EXISTING CONDITIONS
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C3.0 GRADING PLAN
C4.0 DETAILS AND SPECIFICATIONS

ARCHITECTURAL
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A1.2 RCP, KITCHEN EQUIPMENT PLAN
A1.3 ROOF PLAN, ROOF DETAILS
A2.1 ENLARGED PLAN, INT ELEVATIONS; ADA TYP HEIGHTS
A2.2 ENLARGED PLAN, INT ELEVATIONS; CASEWORK DETAILS
A3.1 EXTERIOR ELEVATIONS
A4.1 BUILDING SECTIONS
A5.1 WALL SECTIONS
A5.2 WALL SECTIONS
A5.3 WALL SECTIONS
A5.4 COLUMN SECTIONS
A6.1 PLAN AND SECTION DETAILS
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A7.1 FINISH SCHEDULE; FURNITURE PLAN
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S2 ROOF FRAMING PLAN
S3 GENERAL NOTES AND DETAILS
S4 FRAMING DETAILS
S5 FRAMING DETAILS

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P1.2 WATER PIPING PLAN
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M2.1 MECH DETAILS
M3.1 MECH SCHEDULE
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E0.1 LIGHT FIXTURE SCHEDULE
E1.1 POWER PLAN
E1.2 LIGHTING PLAN
E2.1 PANEL SCHEDULE

VINCINITY MAP

the BOGLE FIRM
ARCHITECTURE
110 N. MAIN ST SUITE 200 SALISBURY, NC 28144
pete@boglefirm.com
www.boglefirm.com
704.638.2015

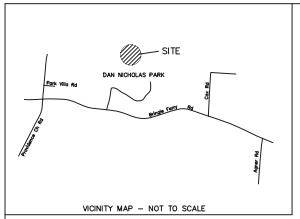
PUBLICATION OR REUSE OF THESE DRAWINGS OR ANY INCLUDED DETAILS MUST BE WITH THE WRITTEN CONSENT OF THE FIRM'S PRINCIPAL ARCHITECT.

COVER SHEET
APPENDIX B

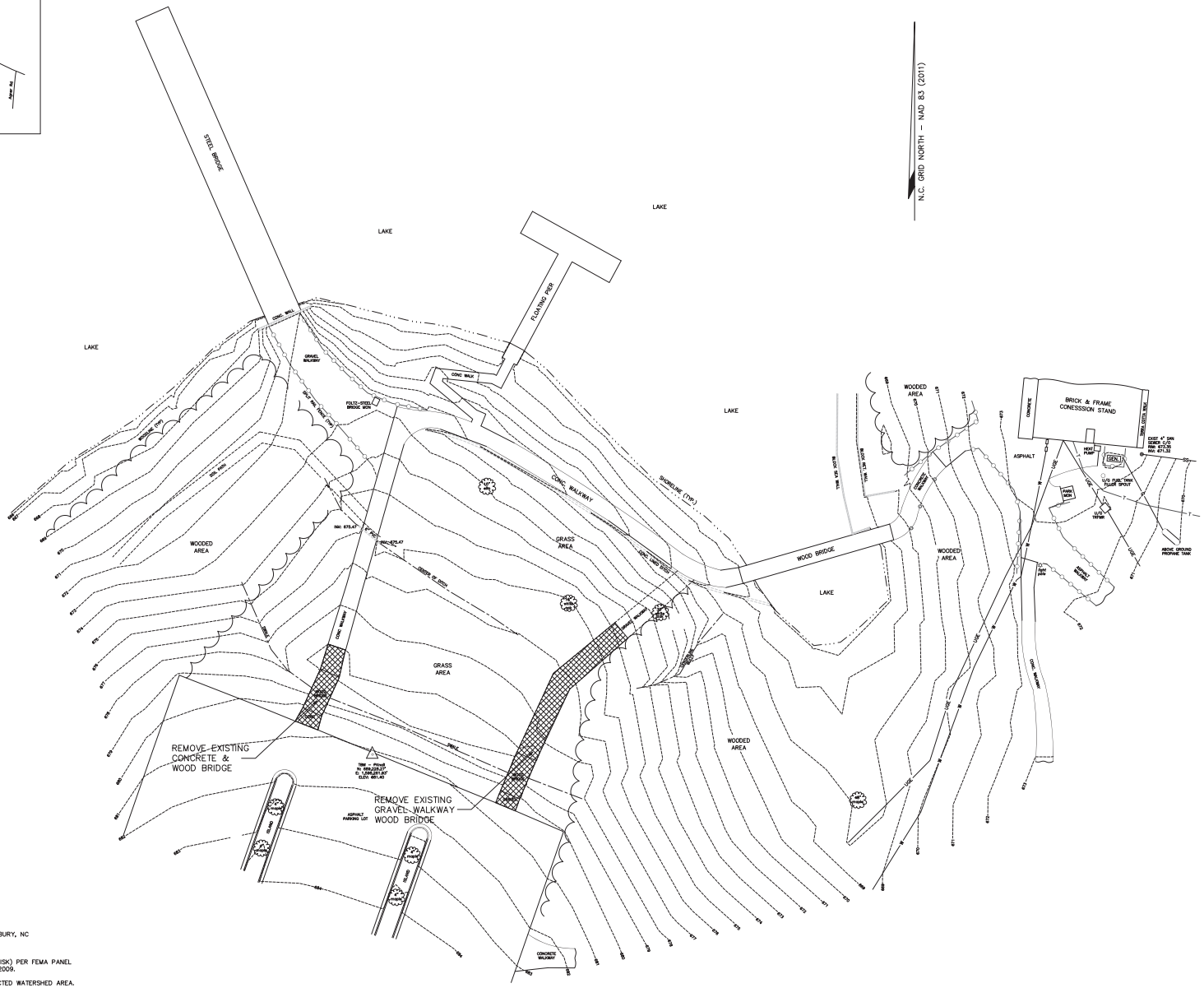
DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

DRAWN BY: EKT
CHECKED BY: DRB
DATE: 01.23.20
PROJECT #: 1903

SHEET NUMBER
CS1
OF: 1



VICINITY MAP – NOT TO SCALE



LEGEND

- ⊙ 3/4"IPS DENOTES EXISTING MONUMENTATION
- ○ DENOTES COMPUTED POINT
- RIGHT OF WAY
- N90°00'00"E PROPERTY LINE
- W EXISTING WATER LINE
- SS EXISTING SANITARY SEWER LINE
- UGE EXISTING UNDERGROUND ELECTRIC
- G EXISTING GAS LINE

GENERAL NOTES

1. PROPERTY OWNER:
   ROWAN COUNTY
   130 W. INNES STREET
   SALISBURY, NC 28144
2. CIVIL SITE WORK CONTACT
   SAM KING, JR., PE PLS
   401 POTEAT DRIVE
   MORGANTON, NC 28655
   PHONE: (828) 403 – 5586
   email: samkingjr@gmail.com
2. PROPERTY ADDRESS: 6800 BRINGLE FERRY RD., SALISBURY, NC
3. SUBJECT PROPERTY PARCEL ID NUMBER: 621–026
4. SUBJECT PROPERTY LIES WITHIN ZONE "X", (MINIMAL RISK) PER FEMA PANEL NUMBER 37105698 00 J, EFFECTIVE DATE: JUNE 16, 2009.
5. SUBJECT PROPERTY IS NOT LOCATED WITHIN A PROTECTED WATERSHED AREA.
6. SUBJECT PROPERTY ZONED "RA" (ROWAN COUNTY)
7. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY FOR ROWAN COUNTY PREPARED BY SHULENBURGER SURVEYING COMPANY, PA, SEPTEMBER 23, 2019.
8. WATER AND SANITARY SEWER PROVIDED BY EXISTING WELL AND SEPTIC SYSTEM.
9. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE AGENCY FOR THE EXACT FIELD LOCATIONS OF ALL WATER, SEWER, ELECTRIC, TELEPHONE, TELEVISION AND ANY OTHER UNDERGROUND AND OVERHEAD UTILITY BEFORE STARTING CONSTRUCTION. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE CONTRACT DRAWINGS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE
10. PROPERTY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY, COVENANTS, RESTRICTIONS, CONDITIONS AND RESERVATIONS OF RECORD AFFECTING SUBJECT PROPERTY.

North Carolina 811 WWW.NC811.ORG

1 inch = 20 ft.

the BOGLE FIRM
ARCHITECTURE
100 W. INNES ST pete@boglefirm.com
SUITE 200-A www.boglefirm.com
SALISBURY, NC 28144 704.213.4553

PUBLICATION OR REUSE OF THESE DRAWINGS OR ANY INCLUDED DETAILS MUST BE WITH THE WRITTEN CONSENT OF THE FIRM'S PRINCIPAL ARCHITECT.

CIVIL PLANS PEPARED BY:
KING ENGINEERING of CONCORD, INC.
K
35 CHURCH STREET S., SUITE 107
CONCORD, NORTH CAROLINA 28025
PHONE (828) 403 – 5586
Mailing Address:
401 Poteat Drive
Morganton, NC 28655
C–0953 samkingjr@gmail.com

EXISTING CONDITIONS

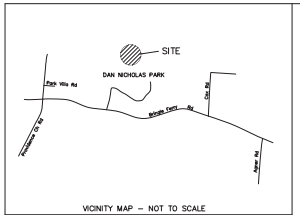
DAN NICHOLAS CONCESSION

6800 BRINGLE FERRY ROAD
SALISBURY, NC

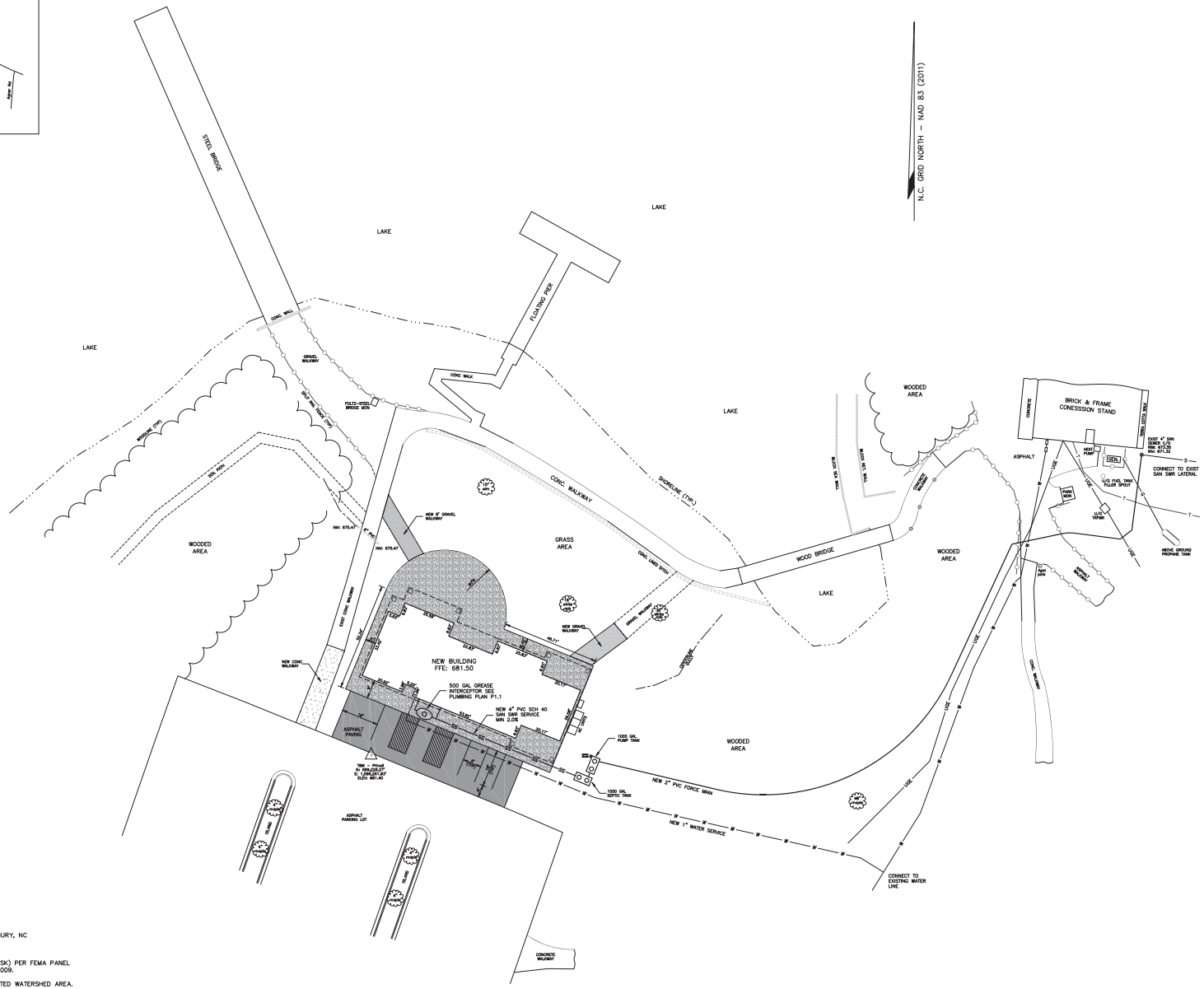
NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 14520 SAM L. KING, JR. NOT FOR CONSTRUCTION

DRAWN BY: SLK
CHECKED BY: SLK
DATE: 1.22.20
PROJECT#: 1903

SHEET NUMBER
C1.0
OF: 4



VICINITY MAP – NOT TO SCALE



LEGEND

- ⊙ 3/4"IPS DENOTES EXISTING MONUMENTATION
- ○ DENOTES COMPUTED POINT
- RIGHT OF WAY
- N90°00'00"E PROPERTY LINE
- W EXISTING WATER LINE
- SS EXISTING SANITARY SEWER LINE
- UGE EXISTING UNDERGROUND ELECTRIC
- G EXISTING GAS LINE

GENERAL NOTES

1. PROPERTY OWNER:
   ROWAN COUNTY
   130 W. INNES STREET
   SALISBURY, NC 28144
2. CIVIL SITE WORK CONTACT
   SAM KING, JR., PE PLS
   401 POTEAT DRIVE
   MORGANTON, NC 28655
   PHONE: (828) 403 – 5586
   email: samkingjr@gmail.com
2. PROPERTY ADDRESS: 6800 BRINGLE FERRY RD., SALISBURY, NC
3. SUBJECT PROPERTY PARCEL ID NUMBER: 621–026
4. SUBJECT PROPERTY LIES WITHIN ZONE "X", (MINIMAL RISK) PER FEMA PANEL NUMBER 37105698 00 J, EFFECTIVE DATE: JUNE 16, 2009.
5. SUBJECT PROPERTY IS NOT LOCATED WITHIN A PROTECTED WATERSHED AREA.
6. SUBJECT PROPERTY ZONED "RA" (ROWAN COUNTY)
7. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY FOR ROWAN COUNTY PREPARED BY SHULENBURGER SURVEYING COMPANY, PA, SEPTEMBER 23, 2019.
8. WATER AND SANITARY SEWER PROVIDED BY EXISTING WELL AND SEPTIC SYSTEM.
9. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE AGENCY FOR THE EXACT FIELD LOCATIONS OF ALL WATER, SEWER, ELECTRIC, TELEPHONE, TELEVISION AND ANY OTHER UNDERGROUND AND OVERHEAD UTILITY BEFORE STARTING CONSTRUCTION. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE CONTRACT DRAWINGS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE
10. PROPERTY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY, COVENANTS, RESTRICTIONS, CONDITIONS AND RESERVATIONS OF RECORD AFFECTING SUBJECT PROPERTY.

the BOGLE FIRM
ARCHITECTURE
100 W. INNES ST pete@boglefirm.com
SUITE 200-A www.boglefirm.com
SALISBURY, NC 28144 704.213.4553

PUBLICATION OR REUSE OF THESE DRAWINGS OR ANY INCLUDED DETAILS MUST BE WITH THE WRITTEN CONSENT OF THE FIRM'S PRINCIPAL ARCHITECT.

CIVIL PLANS PEPARED BY:
KING ENGINEERING of CONCORD, INC.
35 CHURCH STREET S., SUITE 107
CONCORD, NORTH CAROLINA 28025
PHONE (828) 403 – 5586
Mailing Address:
401 Poteat Drive
Morganton, NC 28655
C–0953 samkingjr@gmail.com

SITE PLAN

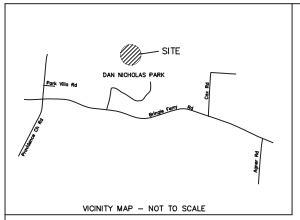
DAN NICHOLAS CONCESSION

6800 BRINGLE FERRY ROAD
SALISBURY, NC

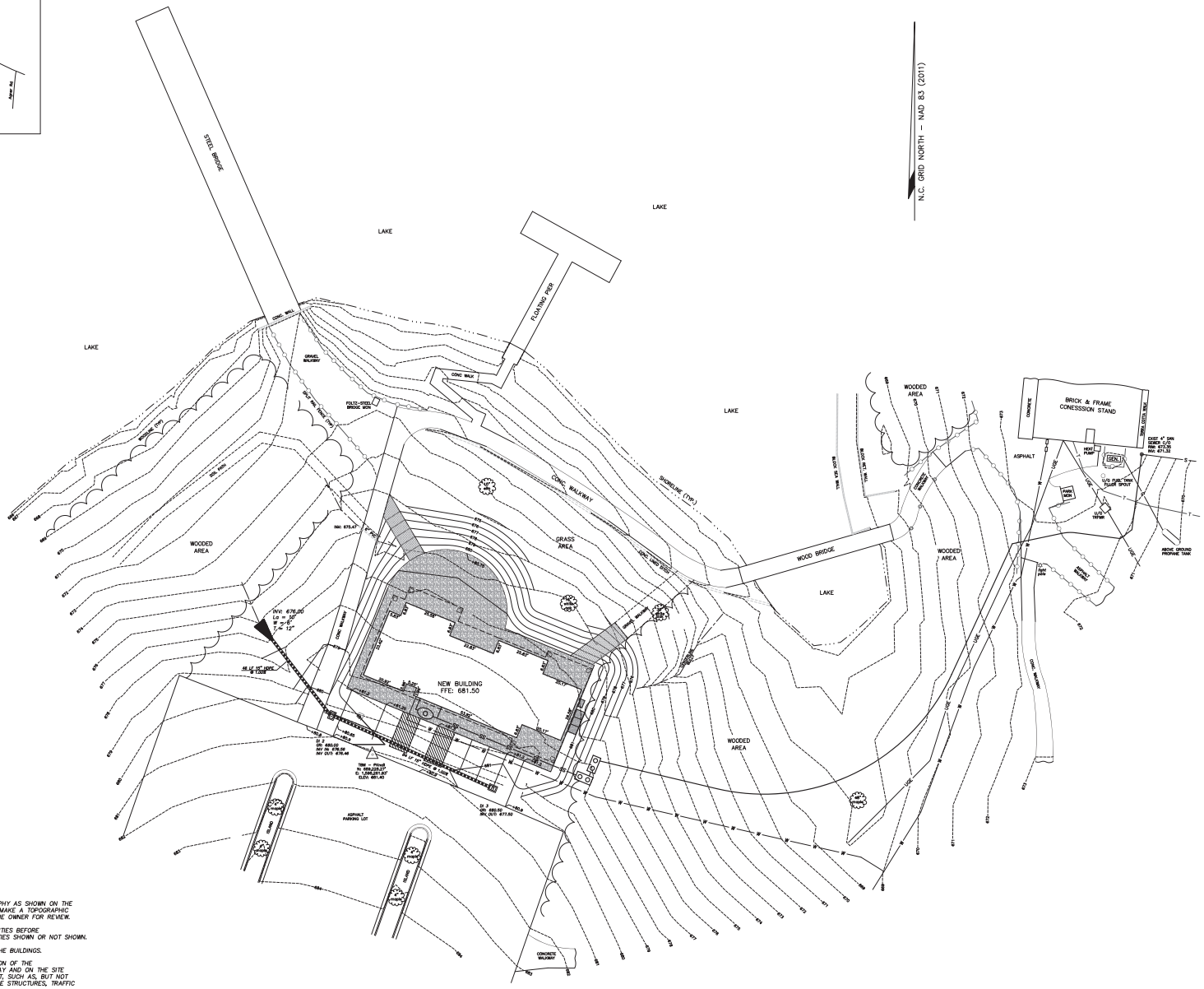
NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 14520 SAM L. KING, JR.
NOT FOR CONSTRUCTION

DRAWN BY: SLK
CHECKED BY: SLK
DATE: 1.22.20
PROJECT#: 1903

SHEET NUMBER
C2.0
OF: 4



VICINITY MAP – NOT TO SCALE



LEGEND

+ 3/4"Iron	DENOTES EXISTING MONUMENTATION
○	DENOTES COMPUTED POINT
— · — · — · —	RIGHT OF WAY
N90°00'00"E	PROPERTY LINE
—— W ——	EXISTING WATER LINE
—— SS ——	EXISTING SANITARY SEWER LINE
—— UGE ——	EXISTING UNDERGROUND ELECTRIC
—— G ——	EXISTING GAS LINE

GRADING NOTES

1. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL MAKE A TOPOGRAPHIC SURVEY AT THEIR OWN EXPENSE AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
3. CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM THE BUILDINGS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, UTILITY POLES, GUY WIRES, ETC.
5. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
6. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED SMOOTH AND STABILIZED.
7. SPOIL FROM FOOTINGS IS THE SITE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR IS TO USE THE SOIL ON SITE OR REMOVE IT FROM THE SITE.
8. EARTHWORK SHALL BE ON A CLASSIFIED BASIS.
9. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN EIGHT INCHES, UNLESS DIRECTED OTHERWISE BY THE SOIL ENGINEER, IN THICKNESS, AT MOISTURE CONTENTS WITHIN TWO PERCENT OPTIMUM, AND COMPACTED TO MAXIMUM DENSITY OF 98 PERCENT OF ITS STANDARD PROCTOR (ASTM D 698) MAX DRY DENSITY.

North Carolina 811 WWW.NC811.ORG

1 inch = 20 ft.

the BOGLE FIRM ARCHITECTURE
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SALISBURY, NC 28144 704.213.4553

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CIVIL PLANS PEPARED BY:
KING ENGINEERING of CONCORD, INC.
35 CHURCH STREET S., SUITE 107
CONCORD, NORTH CAROLINA 28025
PHONE (828) 403 – 5586
Mailing Address:
401 Poteet Drive
Morganton, NC 28655
C–0953 samkingjr@gmail.com

GRADING PLAN

DAN NICHOLAS CONCESSION
6800 BINGLE FERRY ROAD
SALISBURY, NC

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 14520 SAMUEL L. KING, JR. NOT FOR CONSTRUCTION

DRAWN BY: SLK
CHECKED BY: SLK
DATE: 1.22.20
PROJECT#: 1903

SHEET NUMBER C3.0
OF: 4

GENERAL NOTES:

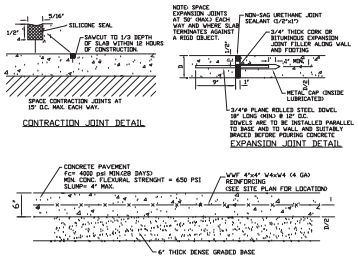
1. THE CONTRACTOR SHALL BE OBTAIN ALL PERMIT APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL PREVENT THE DESTRUCTION OF ALL SURVEY MONUMENTS, BENCH MARKS, PROPERTY CORNERS AND ALL OTHER SURVEY POINTS. WHERE THE REMOVAL OF SUCH POINTS IS NECESSARY FOR THE ACCOMPLISHMENT OF THE WORK, THE CONTRACTOR IS TO INFORM THE ENGINEER IN WRITING, PRIOR TO THE DISTURBANCE OF ANY POINT, AND IS NOT TO DISTURB THE POINT UNTIL WRITTEN PERMISSION TO DO SO HAS BEEN GRANTED BY THE ENGINEER.
3. ALL EXISTING TREES AND SHRUBS OUTSIDE OF THE LIMITS OF WORK SHALL BE PROTECTED DURING CONSTRUCTION, AND ARE NOT TO BE DAMAGED IN ANY MANNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING STREETS AND OTHER STRUCTURES WHICH IS CAUSED BY CONSTRUCTION ACTIVITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL OF ALL BOULDERS, DEBRIS, EXCESS CONSTRUCTION MATERIALS, MATERIAL GENERATED FROM THE DEMOLITION OF EXISTING STRUCTURES AND FACILITIES, AND TRASH.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING EXISTING UTILITIES LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF COMPLETENESS OF THE EXISTING UTILITIES SHOWN ON THE PLANS.
7. ALL PAVEMENT CUTS SHALL BE REPAIRED WITH MATERIAL IN KIND TO THAT REMOVED.
8. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

   THE CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL DEVICES AND SAFETY MEASURES FOR CONSTRUCTION WORK WITHIN PUBLIC RIGHT-OF-WAYS AND OTHER AREAS WHICH REQUIRE ITS USE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

   THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE DOES NOT INCLUDE REVIEW OF THE CONTRACTOR'S SAFETY MEASURES IN ON, OR NEAR THE CONSTRUCTION SITE.
9. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND PIPING WHICH MIGHT INTERFERE WITH DEMOLITION. ANY DAMAGES TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO, SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, UTILITY POLES, GUY WIRES, ETC.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
12. TREES TO BE DEMOLISHED SHALL BE CLEARED AND GRUBBED. NO BURNING SHALL BE ALLOWED ON OWNER'S PROPERTY.

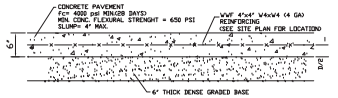
REINFORCED CONCRETE NOTES NOTES

1. ALL CONCRETE SHALL BE AIR ENTRAINED 3000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS, (CLASS "A"), UNLESS NOTED OTHERWISE ON THE PLANS.
2. ALL CONSTRUCTION JOINTS SHALL BE CONSTRUCTED WITH CONTINUOUS SHEAR KEYS IN ACCORDANCE WITH THE SHEAR KEY DETAILS ON THE PLANS.
3. ALL REINFORCING STEEL SHALL BE GRADE 60 DEFORMED BARS AND SHALL CONFORM TO ASTM A615, FOR BILLET STEEL.
4. LAP SPLICES AND BAR EMBEDMENTS SHALL BE IN ACCORDANCE WITH THE TABLE ON THE PLANS.
5. CONCRETE AIR CONTENT AND SLUMP SHALL BE IN ACCORDANCE WITH THE TABLE ON THE PLANS.
6. ALL REINFORCING BARS SHALL BE SHOP BENT IN ACCORDANCE WITH THE TABLE ON THE PLANS. HEATING OF REINFORCING BARS TO BEND THEM, OR STRAIGHTEN THEM WILL NOT BE ALLOWED.
7. ALL WELDED FABRIC SHALL CONFORM TO ASTM A185, SMOOTH FABRIC WITH AN ASTM YELD STRENGTH OF 65,000 PSI.



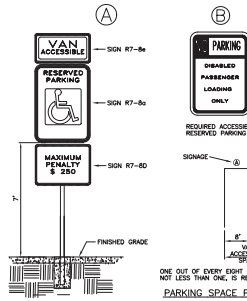
CONTRACTION JOINT DETAIL

EXPANSION JOINT DETAIL



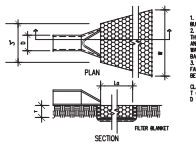
CONCRETE PAVEMENT DETAILS

NOT TO SCALE



ONE OUT OF EVERY EIGHT (8)ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.

PARKING SPACE PAVEMENT MARKINGS



MAINTENANCE:
INSPECT RIPRAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED, IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

OUTLET PROTECTION

ENVIRONMENTAL PROTECTION

SEDIMENT AND EROSION CONTROL

ALL EXISTING SENSITIVE LAND FEATURES AND STRUCTURES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. ITEMS TO BE PROTECTED SHALL INCLUDE, BUT ARE NOT LIMITED TO, ALL DOWNSTREAM PROPERTY, NATURAL WATERWAYS, STREAMS, WETLANDS, YARDS, LAKES AND PONDS, CATCH BASINS, DRAINAGE DITCHES, ROADS, GUTTERS, AND NATURAL AREAS.

SOIL EROSION AND SEDIMENTATION CONTROL SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR, AT HIS EXPENSE, THROUGHOUT THE LIFE OF THE CONTRACT AND DURING THE CONTRACT WARRANTY PERIOD, FOR ALL AREAS THAT ARE GRADED OR DISTURBED AS A RESULT OF THE CONTRACTOR'S WORK ACTIVITY. CONTROL MEASURES SHALL CONSIST OF APPROVED PRACTICES FOUND IN THE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL AND AS SHOWN ON THE CONSTRUCTION DRAWINGS AS APPROVED BY THE N.C. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT DIVISION OF LAND RESOURCES AND INSTALLED AS SUCH.

IN THE EVENT THAT LOCAL CONDITIONS CHANGE TO RENDER DESIGNED SEDIMENTATION AND EROSION CONTROL INEFFECTIVE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DIRECTOR OF ENGINEERING FOR A FIELD CHANGE DISPOSITION.

AFTER DISTURBED AREAS ARE STABILIZED AND ALL TEMPORARY MEASURES REMOVED, THE SEDIMENT SHALL BE SPREAD IN A MANNER NOT TO ADVERSELY AFFECT PROTECTION PROCEDURES AND THEN THE AREA SHALL BE SEEDED AND MULCHED. OTHERWISE, SEDIMENT IS TO BE DISPOSED OF BY HAULING AND SPREADING AS DETAILED ON THE DIVISION OF LAND RESOURCES' APPROVED SEDIMENTATION AND EROSION CONTROL DRAWINGS.

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED PER MAJOR ELEMENTS OF DWQ CONSTRUCTION GENERAL PERMIT -- GROUND STABILIZATION AND NPDES GENERAL STORMWATER PERMIT GROUND STABILIZATION CRITERIA.

SEEDING, GROUND COVERS AND MULCHING

AREAS DAMAGED BY CONSTRUCTION WORK SHALL BE RESTORED TO A CONDITION APPROVED BY THE DIRECTOR OF ENGINEERING BY WORKING, FERTILIZING, SEEDING AND MULCHING.

THE BED SHALL BE PREPARED BY PULVERIZING THE SOIL TO A DEPTH OF THREE INCHES. TILLAGE SHALL CONTINUE UNTIL A WELL PULVERIZED, FIRM AND UNIFORM SITE IS PREPARED CONFORMING TO ADJACENT PROPERTY. THE SOIL MUST BE LOOSE ENOUGH FOR WATER INFILTRATION AND ROOT PENETRATION. GOOD DRAINAGE MUST BE PROVIDED AND VISIBLE PONDING WILL NOT BE ALLOWED. ALL STONES, ROCKS, STICKS, RUBBISH AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED PRIOR TO FERTILIZATION. THE pH OF THE SOIL SHALL BE NON-TOXIC TO THE SEED MIXTURE. PLANT SMALL GRAINS NO DEEPER THAN 1 INCH AND GRASSES/LEGUMES NO DEEPER THAN 1/2 INCH. PLANTING IS TO BE UNIFORM IN SCATTER PATTERN.

DUST CONTROL

1. CONTRACTOR SHALL CONTROL DUST FROM EQUIPMENT USE OF UNPAVED ROADS BY SPRINKLING WITH WATER UNTIL THE SURFACE IS WET.
2. NO CHEMICAL MEASURE(S) SHALL BE USED THROUGH DRY WEATHER UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

August 4, 2011

Major Elements of DWQ Construction General Permit

This document contains the major elements of the recently-revised North Carolina Division of Water Quality (DWQ) Construction General Permit (NCG01) with emphasis places on those elements that differ from the previous permit (expiration on August 2, 2011), since the summary list below cannot contain details of every change, the complete Permit should be used to assure full implementation. See: http://portal.ncdenr.org/web/wq/ws/su/construction

The major change in the Permit from the previous one is the shorter times to apply ground stabilization such as mulch, wheat straw, or grasses (from 7 days and clear relaxing to the standard 14 days for all other areas). Other major changes include the new DEM requirements and 6-months work with a permit advisory group. DTAG. The Division and EPA developed permit now contains requirements for ground cover within 14, and in some places, 7 days.

1) Ground Stabilization*	
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME
• Perimeter dikes, swales, ditches and slopes	7 days
• High Quality Water (HQW) Zones	7 days
• Slopes steeper than 3:1	7 days
• Slopes 3:1 or flatter	7 days
• All other areas with slopes flatter than 4:1	14 days

Exceptions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable. (Section II.B(2)(b))

STABILIZATION TIME EXCEPTIONS
None
None
If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
7-days for slopes greater than 50 feet in length
None (except for perimeters and HQW Zones)

2) Inspections
• Same weekly inspection requirements
• Same rain gauge & inspections after 0.5" rain event
• Inspections are only required during "normal business hours"
• Inspection reports must be available on-site during normal hours unless a site-specific exemption is approved
• Records must be kept for 3 years and available upon request.
• Electronically-available records may be substituted under certain conditions.

3) Implementation of New Permit Conditions
• Projects permitted under the previous permit can continue to follow the previously-permitted conditions
• Complete applications received prior to August 3, 2011 can follow conditions of approved application.

4) Conditions In Erosion & Sedimentation Control Plans*
Designation on the plans where the 7 and 14-day ground stabilization requirements of the NPDES permit apply
Designation on the plans where basins that comply with the surface-withdrawal requirements of the NPDES permit are located.

5) Building Wastes Handling
• No paint or liquid wastes in stream or storm drains.
• Dedicated areas for demolition, construction and other wastes must be located 50' from storm drains and streams unless no reasonable alternatives available
• Earthen material stockpiles must be located 50' from storm drains and streams unless no reasonable alternatives available.
• Concrete materials must be controlled to avoid contact with surface waters, wetlands, or buffers

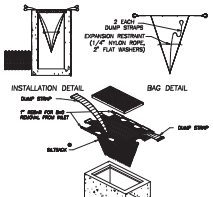
6) Discharges to Federally-listed Waters
• Requirements are the same as in previous permit
• The permit allows reduction from the 20 acre minimum if the Director of DWQ determines that the other BMPs provide equivalent protection

6) Conditions In Erosion & Sedimentation Control Plans*
Designation on the plans where basins that comply with the surface-withdrawal requirements of the NPDES permit are located.

7) Building Wastes Handling
• No paint or liquid wastes in stream or storm drains.
• Dedicated areas for demolition, construction and other wastes located 50' from storm drains and streams unless no reasonable alternatives are available.
• Earthen-material stockpiles located 50' from storm drains unless no reasonable alternatives available.
• Concrete materials must be controlled to avoid contact with surface waters, wetlands, or buffers

8) Sediment Basins
• Outlet structures must withdraw from basin surface unless drainage area is less than 1 acre.
• Use only DWQ-approved flocculants.

* In order for the E&SC Plan to satisfy the conditions of the Construction General Permit, it must identify area where the ground stabilization requirements apply and the location of the basins where the surface-withdrawal requirements apply.



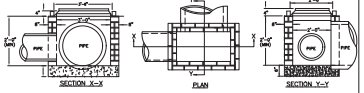
NOTE: THE CONTRACTOR IS RESPONSIBLE FOR A SATISFACTORY INSTALLATION OF THE SILT SAK TO PREVENT SEDIMENTATION.

REGULAR FLOW DISCHARGE
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND NON-SPIT)

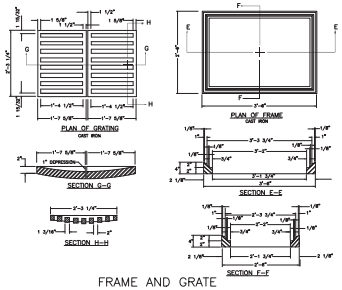
NOMINAL	WEIGHT	MESH
MESH TENSILE STRENGTH	200 N MIN	
MESH MULLEN BURST	400 N MIN	
MESH ELONGATION	30 % MAX	
FABRIC WIDTH	914 MM	36 INCHES
FABRIC LENGTH	914 MM	36 INCHES
FABRIC WEIGHT	142 G/M	4.2 OZ/YD
AVERAGE OPENING SIZE	0.425 MM	40 MESH
MESH WEIGHT	0.0 G/M	0.0 OZ/YD
ABRASION	70 % MIN	70 % MIN

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OF GREATER) RAINFALL EVENT. CLEAR THE SILT-SAKE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE THE MESH DURING SEDIMENT REMOVAL.

SILT-SAK INLET PROTECTION

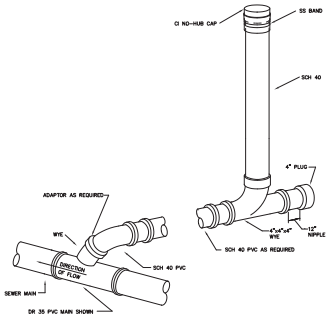


BRICK DROP INLET



FRAME AND GRATE

DROP INLET DETAILS



NOTES:

1. THE LATERAL SHALL BE A MINIMUM OF 5'-0" BELOW THE EDGE OF PAVEMENT, EXCEPT WHERE DEPTH OF SEWER MAIN WILL NOT PERMIT.
2. 4" SEWER LATERAL - MINIMUM GRADE 1.0%

TYPICAL SEWER LATERAL

TEMPORARY SEEDING SCHEDULE

LATE WINTER & EARLY SPRING (FEB 15 – MAY 15)

SPECIES	RATE (LB/ACRE)
RYE GRAIN AND KOREAN LESPEDEZA	120 50

SUMMER (MAY 15 – AUGUST 15)

SPECIES	RATE (LB/ACRE)
GERMAN MILLET OR TALL FESCUE	40 50

FALL (AUGUST 15 – DECEMBER 15)

SPECIES	RATE (LB/ACRE)
RYE GRAIN	120

SOIL AMENDMENTS

10-10-10 FERTILIZER. INCREASE FERTILIZER RATE TO 1000 LB/ACRE IN THE FALL.

MULCH

CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOREAN LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

SOIL PREPARATION
SOIL TEST: SOIL TESTING WILL DETERMINE WHETHER THE SOIL PH AND NUTRIENT (PHOSPHORUS, POTASSIUM AND MAGNESIUM) LEVELS ARE IN A RANGE THAT FAVOR TURFGRASS GROWTH. THE SOIL TEST REPORT WILL INDICATE NEEDED AMOUNTS OF FERTILIZER AND/OR LIME.

CLEAN AND ROUGH GRADE: REMOVE ALL DEBRIS FROM THE LOCATION TO BE PLANTED. THIS INCLUDES ROCKS, BOTTLES, LARGE ROOTS AND OLD TREE TRUNKS. IF EXTENSIVE GRADING IS NEEDED, REMOVE THE TOPSOIL AND STOCKPILE IT FOR REPLACEMENT AFTER THE ROUGH GRADE IS ESTABLISHED.

THE SUBSURFACE MAY BECOME COMPACTED DURING ROUGH GRADING, ESPECIALLY IF THE GROUND IS WET. THIS COMPACTED LAYER MUST BE BROKEN UP. A SPRING-TOOTH HARROW WORKS WELL ON LIGHTLY COMPACTED SOILS. A SMALL ROTOTILLER MAY BE NEEDED FOR MORE HEAVILY COMPACTED SITES.

DEEP TILLAGE: ROTOTILLING LOOSENS COMPACTED SOIL AND IMPROVES THE SEED AND DEPTH OF ROOTING. A TRACTOR-MOUNTED OR SELF-PROPELLED TILL WILL ADEQUATELY TILL THE SOIL. TAKE CARE NOT TO DESTROY THE EXISTING TREES IN THE LAWN. CUTTING TOO MANY TREE ROOTS DURING SOIL TILLAGE CAN SEVERELY DAMAGE OR KILL A TREE. TREES CAN ALSO BE SUFFOCATED BY DEEPLY COVERING THE ROOTS WITH SOIL. IF ADDITIONAL SOIL IS NECESSARY AT A TREE BASE, CONSTRUCT A "TREE WELL".

REPLACE THE TOPSOIL: ONCE THE SUBSURFACE IS ESTABLISHED, RETURN THE TOPSOIL AND SPREAD UNIFORMLY OVER THE ENTIRE AREA. ALLOW FOR AT LEAST 6 TO 8 INCHES OF DEPTH AFTER THE SOIL HAS SETTLED. THIS MEANS PLACING ABOUT 8 TO 10 INCHES OF TOPSOIL OVER THE SUBSURFACE. IMPROVE THE SOIL BY ADDING ORGANIC MATTER. THIS IMPROVES WATER RETENTION IN SANDY SOILS AND DRAINAGE IN CLAY SOILS AND REDUCES FERTILIZER LEACHING.

PERMANENT SEEDING SCHEDULE

SEEDING MIXTURE

SPECIES	RATE (LB/ACRE)
KENTUCKY BLUEGRASS	100
TALL FESCUE	20
REDTOP	10
SWITCHGRASS	5
KOREAN LESPEDEZA	5

SEEDING NOT
1. AFTER AUGUST 15, USE UNSCARIFIED LESPEDEZA SEED.
2. WHERE APPEARANCE IS A CONSIDERATION, OMIT SERICEA LESPEDEZA AND INCREASE KOREAN PESPEDEZA TO 40 LB/ACRE.

NURSE PLANTS
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE TALL FESCUE. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE GRAIN. IT MAY BE BENEFICIAL TO PLANT GRASSES IN LATE SUMMER SEED THE SWITCHGRASS FROM DECEMBER 1st to APRIL 15th.

SEEDING DATES	SEEDING DATES	SEEDING DATES
BELOW 2500 FT.	AUG-SEP 1 MAR 1 – APR 1	JULY 25 – SEP 15 MAR 1 – MAY 10
ABOVE 2500 FT.	JULY 25 – AUG 15 MAR 20 – APR 20	JULY 15 – SAUG 30 MAR 5 – MAY 15

COMPLETE SEEDING EARLIER IN THE FALL, AND NOT START LATER IN THE SPRING ON NORTH AND EAST FACING SLOPES.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO THE SOIL TESTS OR APPLY 4000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1000 LB/ACRE 5-10-10 FERTILIZER.

APPLY 4000 – 5000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING. NETTING IS THE PERFERRED ANCHORING METHOD ON STEEP SLOPES.
MAINTENANCE
REFERTILIZE THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MOW NO MORE THAN ONCE PER YEAR. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

SOIL PREPARATION
SOIL TESTS: SOIL TESTING WILL DETERMINE WHETHER THE SOIL PH AND NUTRIENT (PHOSPHORUS, POTASSIUM AND MAGNESIUM) LEVELS ARE IN A RANGE THAT FAVOR TURFGRASS GROWTH. THE SOIL TEST REPORT WILL INDICATE NEEDED AMOUNTS OF FERTILIZER AND/OR LIME.

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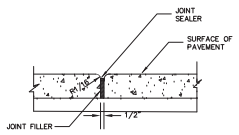
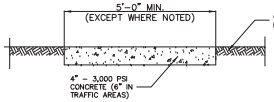
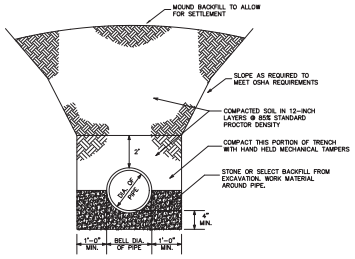


TRAVERSE EXPANSION JOINT IN SIDEWALK
(ONE REQUIRED EVERY 50')



SIDEWALK DETAIL



STORM DRAIN PIPE BEDDING

the BOGLE FIRM
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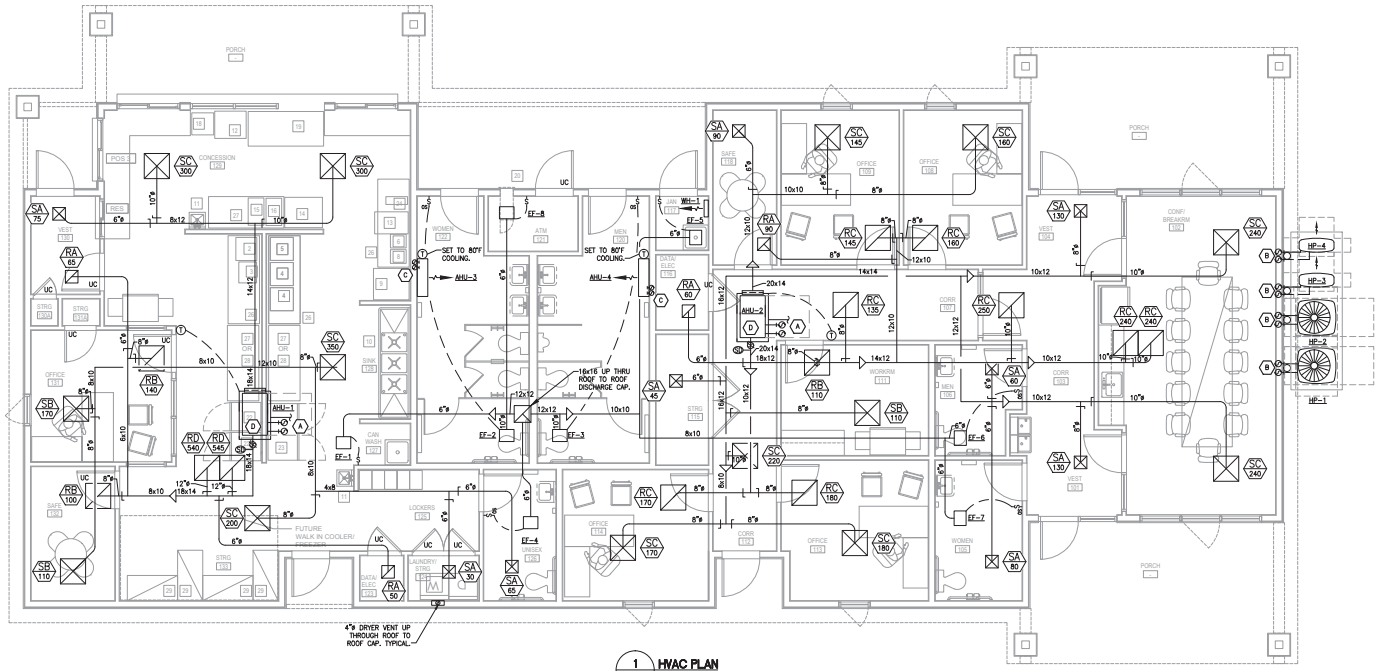
DETAILS & SPECIFICATIONS

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY RD
SALISBURY, NC

NORTH CAROLINA PROFESSIONAL SEAL 14520 ENGINEER SAMUEL L. KING JR. NOT FOR CONSTRUCTION

DRAWN BY: SLK
CHECKED BY: SLK
DATE: 1.22.20
PROJECT#: 1903

SHEET NUMBER
C4.0
OF: 4



1 / M1.1 **HVAC PLAN**
SCALE: 1/4" = 1'-0"

KEY NOTES

(A) MAINTAIN MFR. AND NEC RECOMMENDED CLEARANCES. PROVIDE 18 GA. SUPPLEMENTARY DRAIN PAN 3" HIGH TO EXTEND 3" BEYOND UNIT ON ALL SIDES. SOLDER ALL SEAMS. SEE AHU DETAIL. ROUTE REFRIGERANT PIPING TO/FROM RESPECTIVE CU/HP. ROUTE ¾" CONDENSATE TO NEAREST HUB DRAIN. IN LOCATIONS WHERE ENOUGH SLOPE IS NOT POSSIBLE DUE TO CEILING, SOME LOCATIONS MAY BE ROUTED TO EXTERIOR GRADE. DO NOT ROUTE CONDENSATE TO PAVED AREAS OR WALKWAYS. SEE DETAIL. PROVIDE CONDENSATE PUMPS WHERE NECESSARY. MAINTAIN MFR. AND NEC RECOMMENDED CLEARANCES.

(B) REFRIGERANT PIPING TO/FROM RESPECTIVE AHU. INSULATE ALL INTERIOR REFRIGERANT LINES WITH 1½" FIBERGLASS WITH PREFORMED FITTINGS. ALL EXTERIOR PIPE ABOVE GRADE SHALL BE INSULATED WITH 1½" FIBERGLASS AND WRAPPED WITH ALUMINUM JACKET SEALED WATER TIGHT. TYPICAL FOR ALL ABOVE GRADE REFRIGERANT LINES. REFRIGERANT PIPING SHALL ENTER BUILDING AND EXTEND INSIDE WALL AND ABOVE CEILING TO/FROM RESPECTIVE AHU. SLEEVE, SEAL AND FLASH ALL WALL PENETRATIONS. PIPE SUPPORT. SEE DETAIL. PROVIDE 4" CONCRETE EQUIPMENT PAD 6" WIDER THAN EQUIPMENT. MAINTAIN MFR. AND NEC RECOMMENDED CLEARANCES.

(C) ROUTE REFRIGERANT PIPING TO/FROM RESPECTIVE AHU OUT OF THE BACK OF AHU AND UP INSIDE WALL. NO EXPOSED PIPING. ROUTE CONDENSATE OUT BACK OF AHU AND INSIDE WALLS TO EXTERIOR. SEE CONDENSATE DETAIL. NO EXPOSED PIPING.

(D) 6"ø OUTSIDE AIR DOWN FROM ROOF. COORDINATE LOCATION WITH ARCHITECTURAL. G.C. SHALL SEAL AND FLASH ROOF PENETRATIONS.

ABBREVIATIONS

AD	ACCESS DOOR	HP	HORSEPOWER
AF	AIRFOIL FAN WHEEL	HRS	HOT ROLL STEEL
AFF	ABOVE FINISHED FLOOR	IN.W.G.	INCHES OF WATER GAUGE
AHU	AIR HANDLING UNIT	LWT	LEAVING WATER TEMPERATURE
CFM	CUBIC FEET PER MINUTE	MAX.	MAXIMUM
CH	WATER COOLED CHILLER	MC	MECHANICAL CONTRACTOR
CHWS	CHILLED WATER SUPPLY	MBH	BTU/HR x 1000
CHWR	CHILLED WATER RETURN	MFR	MANUFACTURER
CT	COOLING TOWER	MIN.	MINIMUM
CWS	CONDENSER WATER SUPPLY	NOM.	NOMINAL
CWR	CONDENSER WATER RETURN	O.A.	OUTSIDE AIR
Db	DRY BULB TEMPERATURE, DEGREES FAHRENHEIT	O.C.	ON CENTER
		O.D.	OUTSIDE DIAMETER
Dp	DEW POINT TEMPERATURE, DEGREES FAHRENHEIT	PAC	PACKAGED AIR CONDITIONING UNIT
		PC	PLUMBING CONTRACTOR
DIA.	DIAMETER	PD	PRESSURE DROP
EF	EXHAUST FAN	QTY.	QUANTITY
EC	ELECTRICAL CONTRACTOR	R.A.	RETURN AIR
EFF.%	MOTOR EFFICIENCY-PERCENT	RAF	RETURN AIR FAN
EWT	ENTERING WATER TEMPERATURE	RH	REHEAT COIL
FLA	FULL LOAD AMPS	RPM	REVOLUTIONS PER MINUTE
FM	WATER FLOW METER DEVICE	S.A.	SUPPLY AIR
FPI	FINS PER INCH	SF	SUPPLY FAN
FPM	FEET PER MINUTE	SP	STATIC PRESSURE (INCHES OF WATER)
FT.W.G.	FEET OF WATER GAUGE	UH	UNIT HEATER
GPM	GALLONS PER MINUTE	VD	VOLUME DAMPER (MANUAL OPPOSED BLADE)
HHWS	HEATING HOT WATER SUPPLY	Wb	WET BULB TEMPERATURE, DEGREES FAHRENHEIT
HHWR	HEATING HOT WATER RETURN		

LEGEND

- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- EXHAUST AIR DIFFUSER
- MANUAL VOLUME DAMPER
- SB / 150 — GRILLE TYPE – SEE SCHEDULE / AIR QUANTITY – CFM
- PIPE ELBOW
- PIPE ELBOW DOWN
- PIPE TEE
- FAN CONTROL SWITCH BY E.C.
- SO — FAN CONTROL SWITCH WITH BUILT IN OCCUPANCY SENSOR BY E.C.
- T — PROGRAMMABLE ELECTRONIC THERMOSTAT WITH LOCKING COVER. MOUNT 48" A.F.F.
- E — EMERGENCY SHUTDOWN BUTTON. INTERLOCKED WITH FAN CONTROLS ON ALL AIR MOVING EQUIPMENT VIA 24V CONTROL RELAYS BY M.C. MOUNT 48" A.F.F.
- UC — UNDERCUT DOOR 1"
- SD — DUCT SMOKE DETECTOR MOUNTED ON SIDE OF DUCT, ACCESS DOOR, AND ACCESSIBILITY THROUGH CEILING (IF APPLICABLE). INTERLOCKED WITH RESPECTIVE AIR HANDLING UNIT

GENERAL NOTES

1. MECHANICAL CONTRACTOR (M.C.) SHALL INSTALL MANUAL VOLUME DAMPERS AT BRANCH DUCTS AND AS SHOWN IN BRANCH DUCT DETAILS.
2. M.C. SHALL FIELD VERIFY DUCT ROUTING AND NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS IMMEDIATELY.
3. ALL DUCT SIZES ARE INSIDE CLEAR.
4. M.C. SHALL USE FOIL GRIP AFG-1403-3 DUCT TAPE ON ALL LONGITUDINAL SEAMS AND TRANSVERSE DUCT JOINTS OF CONCEALED DUCT.
5. LONGITUDINAL SEAMS SHALL BE PITTSBURGH LOCK. BUITON PUNCH SNAP LOCK IS NOT ALLOWED. TRANSVERSE JOINTS ON RECTANGULAR DUCTS SHALL BE DUCTMATE.
6. DUCT PRESSURE CLASSIFICATION IS BASED ON THE MAXIMUM VELOCITY AND STATIC PRESSURE THROUGH THE SUPPLY AND RETURN DUCT SYSTEMS. ALL SEAMS, JOINTS, FASTENER PENETRATIONS AND CONNECTIONS ARE TO BE SEALED PER SMACNA STANDARDS BASED ON DUCT CLASSIFICATION.
7. HOLD ALL DUCT WORK LEVEL AND TIGHT AGAINST BOTTOM OF STRUCTURE UNLESS OTHERWISE INDICATED. CLOSELY COORDINATE WITH LIGHTING/ELECTRICAL CONTRACTOR BEFORE ANY DUCT IS FABRICATED. M.C. SHALL BE RESPONSIBLE FOR COORDINATED DETAILED MECHANICAL SHOP DRAWINGS OF EXACT DUCT AND PIPE ROUTING AND LOCATIONS.
8. M.C. SHALL ADJUST GRILLE AND DIFFUSER LOCATIONS TO MATCH REFLECTED CEILING PLAN AND LIGHT LAYOUT.
9. M.C. SHALL COORDINATE WITH ALL TRADES AND PROVIDE OFFSETS AND TRANSITIONS AS NECESSARY TO CORRECT ANY INTERFERENCES. ALL SUPPLY, RETURN AND EXHAUST DUCT, HOT, COLD AND CONDENSATE WATER, DRAIN PIPING AND EQUIPMENT SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL STATE AND LOCAL BUILDING CODES REGARDING SEISMIC CONSIDERATIONS IN RELATION TO THEIR INSTALLATION.
10. PROVIDE AN NEBB OR AABC CERTIFIED TEST AND BALANCE OF ALL SYSTEMS.
11. ALL LOW AND MEDIUM PRESSURE SUPPLY AND RETURN DUCT IN CONCEALED LOCATIONS SHALL HAVE 2.2 INCH THICKNESS WITH INSTALLED VALUE OF R-6.0 WRAP INSULATION WITH VAPOR SEAL.
12. PROVIDE 1" ANTI-MICROBIAL COATED DUCT LINER ON RETURN/SUPPLY DUCTS TO/FROM AIR HANDLING UNIT CONNECTION THROUGH FIRST 8' OF DUCT. INCREASE INDICATED DUCT SIZE 1" ON ALL SIDES WHERE LINER IS INSTALLED.
13. ALL CONDENSATE LINES SHALL BE INSULATED WITH 1" FIBERGLASS INSULATION WITH VAPOR BARRIER AND PREFORMED FITTINGS.

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MECANICAL HVAC PLAN

DAN NICHOLAS CONCESSION

6800 BRINGLE FERRY ROAD
SALISBURY, NC

NORTH CAROLINA PROFESSIONAL SEAL ENGINEER SEAL — S. E. COLLINS, INC. P.E.

S. E. COLLINS, INC. CONSULTING ENGINEERS C-2809

DRAWN BY: BCH
CHECKED BY: SEC
DATE: 1.21.20
PROJECT #: 1903

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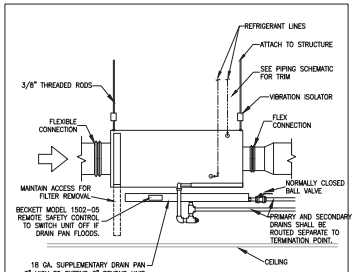
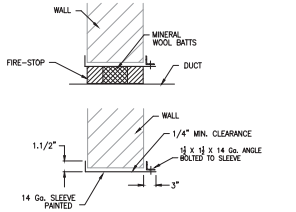


1 TYPICAL AIR HANDLING UNIT DETAIL

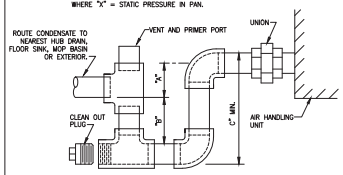


NOTE:
SLEEVE & FIRE PROOF ALL WALL DUCT PENETRATIONS.
1-2 Hr UNINSULATED - UL WL-7009
1-2 Hr INSULATED - UL WL-7009
3 Hr UNINSULATED - UL CAJ-1079
3 Hr INSULATED - UL CAJ-5058

2 SLEEVE DETAILS

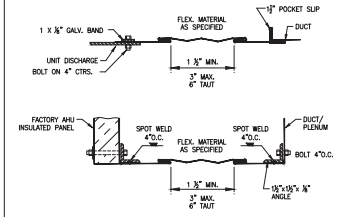
UNIT TYPE	"A"	"B"	"C"
DRAW THRU	2" PLUS "X"	X	2½
BLOW THRU	1" MIN.	2X	2½

WHERE "X" = STATIC PRESSURE IN PAN.

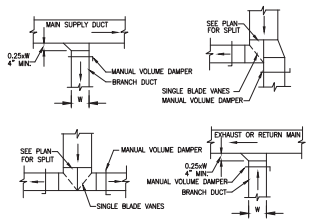


NOTES:
1. CONDENSATE PIPE SHALL BE SCH. 40 PVC.
2. "RUNNING TRAPS" SHALL NOT BE ALLOWED
3. SIZE SAME AS EQUIPMENT CONNECTION.

3 CONDENBATE DRAIN DETAIL

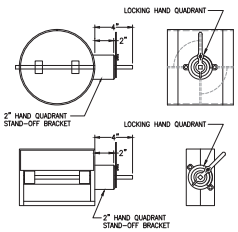


4 TYPICAL FLEX CONNECTION

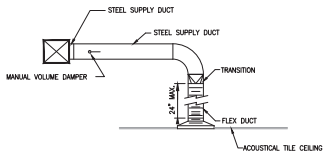


5 TYPICAL DUCT FITTINGS

MANUAL VOLUME DAMPER OPERATOR SHALL BE DURO DYNE MODEL #KS-38 3/8" WITH EXTENDED LOCKING QUADRANT SHAFT OR ENGINEER APPROVED EQUAL. INSULATION SHALL NOT COVER DAMPER LOCKING QUADRANT. PROVIDE SUBMITTAL ON DAMPER & LOCKING QUADRANT.



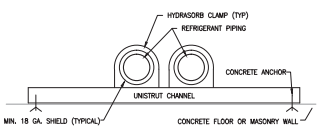
6 TYPICAL BALANCING DAMPER DETAIL



NOTE: MANUAL VOLUME DAMPER SHALL BE DURO DYNE MODEL #KS-38 3/8" WITH EXTENDED STAND OFF LOCKING QUADRANT DAMPER OR ENGINEER APPROVED EQUAL. INSULATION SHALL NOT COVER DAMPER LOCKING QUADRANT. PROVIDE SUBMITTAL ON DAMPER & LOCKING QUADRANT.

7 TYPICAL BRANCH DUCT

NOTE: CONDENSATE LINE FROM AHU SHALL BE SECURED WITH UNISTRUT CHANNEL.

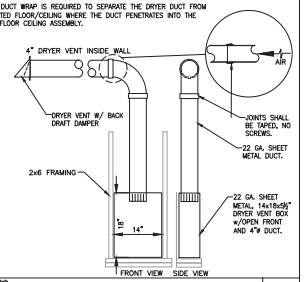


NOTE: MAXIMUM SPACING 5 ft ON CENTER. PROVIDE SPACE FOR POWER & CONTROL CONDUIT IF REQUIRED. COORDINATE WITH ELECTRICAL CONTRACTOR.

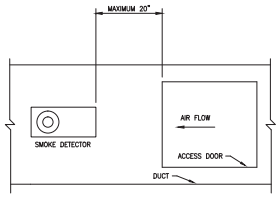
8 REFRIGERANT PIPE SUPPORT DETAIL

1. THE MAXIMUM LENGTH OF CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 35 FEET FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 2.5 FEET FOR EACH 45 DEGREE AND 5 FEET FOR EACH 90 DEGREE BEND.

2. RATED DUCT WRAP IS REQUIRED TO SEPARATE THE DRYER DUCT FROM THE RATED FLOOR/CEILING WHERE THE DUCT PENETRATES INTO THE RATED FLOOR CEILING ASSEMBLY.

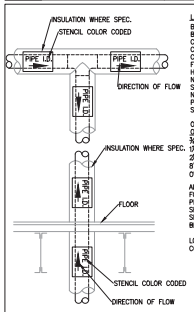


9 DRYER VENT RISER W/CLEANOUT DETAIL



NOTES:
PROVIDE ACCESS DOOR IN DUCT FOR SMOKE DETECTOR MAINTENANCE. DOOR SHALL BE AS LARGE AS DUCT WILL ACCOMMODATE OR AS SHOWN ON DRAWINGS UP TO 20x20.

10 TYPICAL SMOKE DETECTOR/ACCESS DOOR DETAIL



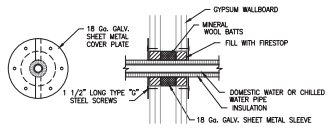
LEGEND	BACKGROUND	LETTERS
BOILER BLOWDOWN	YELLOW	BLACK
BOILER FEED WATER	YELLOW	BLACK
CHILLED WATER	GREEN	WHITE
COMPRESSED AIR	YELLOW	BLACK
CONDENSER WATER	GREEN	WHITE
FUEL OIL	YELLOW	BLACK
HEATING HOT WATER	YELLOW	BLACK
NATURAL GAS	YELLOW	BLACK
STEAM	YELLOW	BLACK
NITROGEN	GREEN	WHITE
POTABLE WATER	GREEN	WHITE
SPRINKLER	RED	WHITE

OVERALL O.D.	MARKER SIZE	LETTER SIZE
¾" - 1¼"	8"	¾"
1½" - 2"	8"	¾"
2½" - 6"	12"	1¼"
8" - 10"	24"	2½"
OVER 10"	32"	3½"

ALL PIPING SYSTEMS WHICH ARE ACCESSIBLE FOR MAINTENANCE SHALL BE IDENTIFIED WITH PIPE MARKERS AS SPECIFIED. THESE MARKERS SHALL INCLUDE PIPE IDENTIFICATION IN LETTER SIZES AS INDICATED ABOVE. FLOW ARROWS AND BE IN CONFORMANCE WITH ANSI A.13.1-2009.

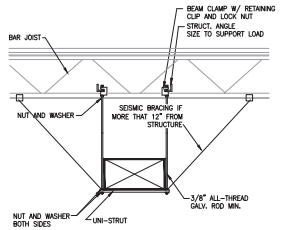
LOCATE PIPE MARKERS PER 2018 NC PLUMBING CODE BUT NOT LESS THAN EVERY 12 FEET.

11 PIPE LABELING

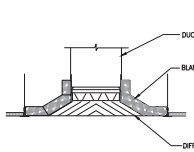


NON-METALLIC 1-2 Hr - UL WL-2046
METALLIC UNINSULATED 2 Hr - UL WL-1033
METALLIC INSULATED 1-2 Hr - UL WL-5033

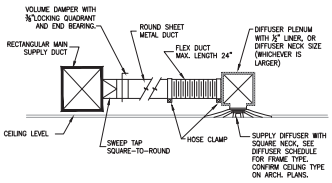
12 TYPICAL WALL PIPE SLEEVE DETAIL



13 TYPICAL DUCT HANGER DETAIL

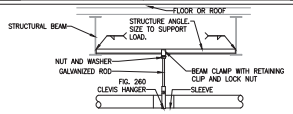


14 DIFFUSER DETAIL



LOW CLEARANCE

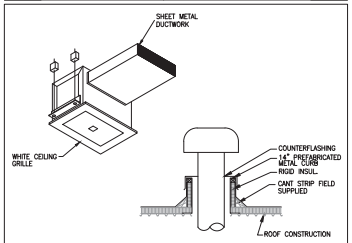
15 TYPICAL LOW CLEARANCE BRANCH DUCT DETAIL



PIPE-HANGER SPACING		
PIPE MATERIAL	MAXIMUM HORIZONTAL SPACING (FEET)	MAXIMUM VERTICAL SPACING (FEET)
ABS PIPE	4	10[b]
ALUMINUM PIPE AND TUBING	10	15
BRASS PIPE	10	10
BRASS TUBING ¾" DIAMETER AND SMALLER	6	10
BRASS TUBING 1¼" DIAMETER AND LARGER	10	10
CAST-IRON PIPE[a]	5	15
COPPER OR COPPER-ALLOY PIPE	12	10
COPPER OR COPPER-ALLOY TUBING ¾" DIAMETER OR SMALLER	6	10
COPPER OR COPPER-ALLOY TUBING 1¼" DIAMETER OR LARGER	10	10
CPVC PIPE OR TUBING 1" AND SMALLER	3	10[b]
CPVC PIPE OR TUBING 1¼" AND LARGER	4	10[b]
LEAD PIPE	CONTINUOUS	10[b]
PB PIPE OR TUBING	2½ (32")	4
PEX TUBING	2½ (32")	4
POLYPROPYLENE (PP) PIPE OR TUBING 1" OR SMALLER	2½ (32")	10[b]
POLYPROPYLENE (PP) PIPE OR TUBING 1¼" OR LARGER	4	10[b]
PVC PIPE	4	10[b]
STEEL TUBING	8	10
STEEL PIPE	12	15

a. THE MAXIMUM HORIZONTAL SPACING OF CAST-IRON PIPE HANGERS SHALL BE INCREASED TO 10 FEET WHERE 10-FOOT LENGTHS OF PIPE ARE INSTALLED.
b. MID-STORY GUIDE.

16 TYPICAL PIPE HANGER DETAIL



NOTES:
1. PROVIDE BACKDRAFT DAMPER WITH BIRDSCREEN.
2. FLASH AND SEAL WALL CAP.
3. PROVIDE INTERNAL ISOLATION AND SOUND INSULATION.
4. SUPPORT FAN FROM STRUCTURE.

17 EXHAUST FAN DETAIL

the BOGLE FIRM ARCHITECTURE
110 N. MAIN ST pete@boglefirm.com
SUITE 200 www.boglefirm.com
SALISBURY, NC 28144 704.638.2015

PUBLICATION OR REUSE OF THESE DRAWINGS OR ANY INCLUDED DETAILS MUST BE WITH THE WRITTEN CONSENT OF THE FIRM'S PRINCIPAL ARCHITECT.

S. E. COLLINS CONSULTING ENGINEERS
1817 E. Innes St., Suite 201
Salisbury, NC 28146
E-mail: scollins@scollinseng.com
Tel: (704) 638-6337
Fax: (704) 638-6340

MECHANICAL DETAILS

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY, NC

NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER SEAL 019681 STEPHEN E. COLLINS, III

S. E. COLLINS CONSULTING ENGINEERS, INC. C-2809

DRAWN BY: BCH
CHECKED BY: SEC
DATE: 1.21.20
PROJECT #: 1903

SHEET NUMBER
M2.1
OF: 4

P:\data\y19-174 don nicholas park concession\revit\19174 m2.3.dwg 1/21/2020 11:39:48 AM

AIR HANDLING UNIT WITH HIGH EFFICIENCY HEAT PUMP COIL AND ELECTRIC HEAT

										DX COIL								HEAT PUMP HEAT @ 14°F				ELECTRIC HEAT			ELECTRICAL POWER				
				MIN. CFM CA@	E.S.P.	MIN. MOTOR		MIN.	MIN.	ENTERING AIR		LEAVING AIR						MIN.	TEMPERATURE	ENTERING AIR	LEAVING AIR								UNIT WEIGHT LB.
EQUIPMENT NUMBER	MFR.	MODEL NUMBER	NOMINAL TONS	NOMINAL CFM	95/78	IN. W.G.	POWER/HP	REFRIG.	TOTAL MBH	SENSIBLE MBH	DRY BULB DEG. F	WET BULB DEG. F	DRY BULB DEG. F	WET BULB DEG. F	SAT. SUCT. TEMP. DEG. F	MAX. COIL FACE VELOCITY	MIN. COIL FPI/ROWS	COIL TYPE	SENSIBLE MBH	RISE DEG. F	DRY BULB DEG. F	DRY BULB DEG. F	KW	SENSIBLE MBH	STAGES	FACE VELOCITY	VOLTS/PHASE/CYCLES	MOCP	MCA	
AHU-1	TRANE	TEM4A0C48S41	4.0	1,600	160	0.75	3/4	R-410a	47.1	34.8	80.0	67.0	59.3	57.2	41.5	500 FPM	3/15	DX	32.7	30.2	70.0	100.2	10.8	36.8	1	500	70.0	91.2	208/1/60	90	83	138
AHU-2	TRANE	TEM4A0C60S51	5.0	2,000	220	0.75	3/4	R-410a	60.0	44.0	80.0	67.0	59.3	57.2	41.5	500 FPM	3/15	DX	36.8	30.2	70.0	100.2	14.4	49.1	1	500	70.0	92.6	208/1/60	110	108	138

NOTES:
1. AIR HANDLING UNITS ARE BASED ON TRANE. DAIKIN IS AN APPROVED EQUAL.
2. FAN MOTORS SHALL BE ODP AND ENERGY EFFICIENT.
3. PROVIDE SINGLE POINT POWER CONNECTION WITH FACTORY DISCONNECT FOR EACH AIR HANDLING UNIT.
4. PROVIDE FACTORY INSTALLED ELECTRIC HEAT PER SCHEDULED PERFORMANCE.
5. ALL ELECTRIC HEAT SHALL BE INTERNALLY PROTECTED WITH FUSES, INTERLOCKS (WITH SUPPLY FAN) AND AIR FLOW SWITCHES.
6. ALL COILS SHALL BE ARI TESTED, RATED, AND CERTIFIED.
7. PROVIDE 24V ELECTRONIC PROGRAMMABLE AUTOMATIC CHANGEOVER THERMOSTATS.
8. PROVIDE FACTORY NITROGENIZED "ACR" COPPER REFRIGERANT PIPING KITS WITH ALL NECESSARY TRIM FOR A COMPLETE INSTALLATION.
9. PROVIDE TWO SETS OF DISPOSABLE FILTERS FOR EACH AIR HANDLING UNIT.

HEAT PUMP SCHEDULE

EQUIPMENT NUMBER		MODEL NUMBER	REFRIG.	NO. OF COMPRESSORS	TOTAL CAP. MBH	SENSIBLE CAP. MBH	UNIT SEER	NO. OF REFRIG. CIRCUITS	SAT. SUCT. TEMP. DEG. F	DESIGN AMBIENT AIR DEG. F	UNIT CAP. TONS	COND. QTY.	FANS QTY.	MOPD	MCA	COND. UNIT VOLTAGE	REFRIG. PIPE CONN.(O.D.) LIQUID LINE CKT. 1	SUCTION LINE CKT. 1	UNIT WEIGHT LB.
HP-1	TRANE	4TWH4048D1	R-410a	1	47.1	34.8	13.5	1	41.5	95.0	4.0	1	1	45	28	208/1/60	⅜"	⅞"	226
HP-2	TRANE	4TWH5060D1	R-410a	1	60.0	44.0	13.5	1	41.5	95.0	5.0	1	1	60	35	208/1/60	⅜"	⅞"	226

NOTES:
1. INFORMATION PROVIDED IS BASED ON TRANE. DAIKIN IS AN APPROVED EQUAL.
2. PROVIDE 5-YEAR EXTENDED WARRANTY ON COMPRESSORS FOR PARTS.
3. UNITS SHALL BE SHIPPED WITH A HOLDING CHARGE OF R-410a.
4. PROVIDE 24 VOLT CONTROL TRANSFORMER.
5. PROVIDE SCREENS FOR CONDENSING UNIT FANS AND GUARDS FOR COILS.
6. INCLUDE FILTER-DRIERS, LIQUID LINE SOLENOID VALVES, SIGHT GLASS/MOISTURE INDICATOR, AND THERMAL EXPANSION VALVES.
7. PROVIDE HEAD PRESSURE CONTROL WITH ADJUSTABLE PRESSURE SWITCH FOR FAN CYCLING.

REFRIGERANT PIPING SIZES

TAG	EQUIPMENT SERVED	NOM. TONS	EQUIVALENT LENGTH (ft)	LIQUID LINE	SUCTION LINE	HOT GAS
HP-1	AHU-1	4.0	95'	½"	¾"	--
HP-2	AHU-2	5.0	55'	½"	¾"	--
HP-3	AHU-3	0.75	85'	½"	¾"	--
HP-4	AHU-4	0.75	65'	½"	¾"	--

NOTES:
1. ALL REFRIGERANT PIPING SHALL BE NITROGENIZED ACR COPPER TUBING.
2. TUBING SIZES SCHEDULED ARE O.D. TYPE L COPPER.
3. PROVIDE ALL REFRIGERANT SPECIALTIES FOR A COMPLETE INSTALLATION EQUAL TO SPORLAN PRODUCTS.
4. REFRIGERANT LINE SIZES ARE BASED UPON DESIGN. MECHANICAL CONTRACTOR SHALL HAVE MANUFACTURER SIZE ALL LINE SETS BASED UPON ACTUAL INSTALLATION LENGTHS AND PRESSURE DROP.

VRF AIR HANDLING UNIT SCHEDULE (HEAT PUMP)

									DX COIL								HEAT PUMP HEAT @ 14°F				ELECTRICAL POWER			
						MIN.	MIN.	ENTERING AIR		LEAVING AIR							ENTERING AIR	LEAVING AIR						
EQUIPMENT NUMBER	MFR.	MODEL NUMBER	CFM	MIN O.A CFM	MOTOR POWER	REFRIG.	TOTAL MBH	SENSIBLE MBH	DRY BULB DEG. F	WET BULB DEG. F	DRY BULB DEG. F	WET BULB DEG. F	SAT. SUCT. TEMP. DEG. F	MAX. COIL FACE VELOCITY	MIN. COIL FPI/ROWS	COIL TYPE	DRY BULB DEG. F	DRY BULB DEG. F	MAX. COIL FACE VELOCITY	MIN. SENSIBLE MBH	TEMPERATURE RISE DEG. F	VOLTS/PHASE/CYCLES	MOCP	MCA	UNIT WEIGHT LB.
AHU-3	DAIKIN	FTX09NMVJU	417	0	N/A	R-410a	9.0	8.1	95.0	75.0	80.0	67.0	41.5	500 FPM	3/15	DX	47.0	70.0	500	6.0	23.0	POWER SUPPLIED BY RESPECTIVE HP			18.0
AHU-4	DAIKIN	FTX09NMVJU	417	0	N/A	R-410a	9.0	8.1	95.0	75.0	80.0	67.0	41.5	500 FPM	3/15	DX	47.0	70.0	500	6.0	23.0	POWER SUPPLIED BY RESPECTIVE HP			18.0

NOTES:
1. INFORMATION PROVIDED IS BASED ON DAIKIN. TRANE AND CARRIER ARE APPROVED EQUALS.
2. FAN MOTORS SHALL BE ODP AND ENERGY EFFICIENT.
3. PROVIDE SINGLE POINT POWER CONNECTION WITH FACTORY DISCONNECT FOR EACH AIR HANDLING UNIT.
4. PROVIDE FACTORY INSTALLED ELECTRIC HEAT PER SCHEDULED PERFORMANCE.
5. ALL ELECTRIC HEAT SHALL BE INTERNALLY PROTECTED WITH FUSES, INTERLOCKS (WITH SUPPLY FAN) AND AIR FLOW SWITCHES.
6. ALL COILS SHALL BE ARI TESTED, RATED, AND CERTIFIED.
7. PROVIDE 24V ELECTRONIC PROGRAMMABLE AUTOMATIC CHANGEOVER THERMOSTATS.
8. PROVIDE FACTORY NITROGENIZED "ACR" COPPER REFRIGERANT PIPING KITS WITH ALL NECESSARY TRIM FOR A COMPLETE INSTALLATION.
9. PROVIDE TWO SETS OF DISPOSABLE FILTERS FOR EACH AIR HANDLING UNIT.

HVAC DESIGN DATA

		SUMMER		WINTER			
		OUTSIDE	INSIDE	OUTSIDE		INSIDE	
PROJECT	LOCATION	DRY BULB	WET BULB	DRY BULB	% HUMIDITY	DRY BULB	% HUMIDITY
DAN NICHOLAS CONCESSION	SALISBURY, NC	95°F	78°F	80°F	50 +/-15%	14°F	10°F	70°F	NA

VRF HEAT PUMP SCHEDULE

EQUIPMENT NUMBER	MFR.	MODEL NUMBER	REFRIG.	NO. OF COMPRESSORS	TOTAL CAP. MBH	SENSIBLE CAP. MBH	UNIT SEER	NO. OF REFRIG. CIRCUITS	SAT. SUCT. TEMP. DEG. F	DESIGN AMBIENT AIR DEG. F	UNIT CAP. TONS	COND. QTY.	FANS QTY.	MOPD	MCA	COND. UNIT VOLTAGE	REFRIG. PIPE CONN.(O.D.) LIQUID LINE CKT. 1	SUCTION LINE CKT. 1	UNIT WEIGHT LB.
HP-3	DAIKIN	RX09NMVJU	R-410a	1	9.0	8.1	14.0	1	41.5	95.0	0.75	1	1	15	12.1	208/1/60	¼"	⅜"	55
HP-4	DAIKIN	RX09NMVJU	R-410a	1	9.0	8.1	14.0	1	41.5	95.0	0.75	1	1	15	12.1	208/1/60	¼"	⅜"	55

NOTES:
1. INFORMATION PROVIDED IS BASED ON DAIKIN. TRANE AND CARRIER ARE APPROVED EQUALS.
2. PROVIDE 5-YEAR EXTENDED WARRANTY ON COMPRESSORS FOR PARTS.
3. UNITS SHALL BE SHIPPED WITH A HOLDING CHARGE OF R-410a.
4. PROVIDE 24 VOLT CONTROL TRANSFORMER.
5. PROVIDE SCREENS FOR CONDENSING UNIT FANS AND GUARDS FOR COILS.
6. INCLUDE FILTER-DRIERS, LIQUID LINE SOLENOID VALVES, SIGHT GLASS/MOISTURE INDICATOR, AND THERMAL EXPANSION VALVES.
7. FUSED DISCONNECTS BY ELECTRICAL CONTRACTOR.

WALL HEATER SCHEDULE

TAG	MFR	MODEL	POWER	WATTS	BTU/HR	WEIGHT(lbs)
WH-1	TRANE	UHAA151ETAD	120/1/60	1500	5,119	22

NOTES:
1. WALL HEATER SHALL BE SEMI-RECESSED MOUNTED AS MANUFACTURED BY TRANE, MARKEL, OR RAYWALL
2. PROVIDE EACH WALL HEATER WITH FACTORY FAN DELAY SWITCH OPTION AND THERMOSTAT WHICH BREAKS ALL UNGROUNDED CONDUCTORS IN OFF POSITION.

FULL-LOAD MINIMUM EFFICIENCIES OF ENERGY EFFICIENT MOTORS

	OPEN MOTORS		ENCLOSED MOTORS		
HP	2-POLE	4-POLE	2-POLE	4-POLE	6-POLE
1.0	----	80.0	77.0	72.0	80.0
1.5	80.0	81.5	81.5	80.0	81.5
2.0	81.5	81.5	82.5	81.5	81.5	84.0
3.0	81.5	84.0	84.0	82.5	85.5	85.5
5.0	82.5	85.5	85.5	85.5	85.5	85.5
7.5	85.5	86.5	86.5	86.5	87.5	87.5
10.0	86.5	87.5	88.5	87.5	87.5	87.5
15.0	87.5	89.5	88.5	88.5	89.5	88.5
20.0	88.5	89.5	89.5	88.5	89.5	88.5
25.0	89.5	90.2	90.2	89.5	91.0	90.2
30.0	89.5	91.0	91.0	89.5	91.0	90.2
40.0	90.2	91.7	91.7	90.2	91.7	91.7
50.0	91.0	91.7	91.7	91.0	91.7	91.7
60.0	91.7	92.4	92.4	91.7	92.4	92.4
75.0	91.7	93.0	92.4	91.7	93.0	92.4
100.0	91.7	93.0	93.0	92.4	93.6	93.0
125.0	92.4	93.6	93.0	93.6	93.6	93.0
150.0	92.4	94.1	93.6	93.6	94.1	94.1
200.0	93.6	94.1	93.6	94.1	94.1	94.1
250.0	93.6	94.3	94.5	94.5	94.1	94.1
300.0	94.1	94.5	94.5	94.5	94.5	94.1
350.0	94.1	94.5	94.5	94.5	94.5	94.1
400.0	94.5	94.5	---	94.5	94.5	---
450.0	95.0	95.0	---	94.5	94.5	---
500.0	95.0	95.0	---	94.5	95.0	---

FOR SINGLE-SPEED POLYPHASE MOTORS MINIMUM ACCEPTABLE NOMINAL FULL-LOAD EFFICIENCY

HORSEPOWER	MIN. EFFICIENCY %
1 - 4	78.5
5 - 9	84.0
10 - 19	85.5
20 - 49	88.5
50 - 99	90.2
100 - 124	91.7
125 OR GREATER	92.4

GRILLE AND DIFFUSER SCHEDULE

MARK	MFR	MODEL	NECK SIZE (IN.)	FACE	FINISH	CONSTRUCTION	ACCESSORIES
SA	PRICE	SCD	6"ø	12x12	OW	STL/4 CONE	OBD
SB	PRICE	SCD	8"ø	24x24	OW	STL/4 CONE	OBD
SC	PRICE	SCD	10"ø	24x24	OW	STL/4 CONE	OBD
SD	PRICE	SCD	12"ø	24x24	OW	STL/4 CONE	OBD
SE	PRICE	520D	6x5	8⅝x7⅝	OW	STL/SURFACE MOUNT	OBD
RA	PRICE	PDDR	6"ø	12x12	OW	STL/LAY-IN	
RB	PRICE	PDDR	8"ø	24x24	OW	STL/LAY-IN	
RC	PRICE	PDDR	10"ø	24x24	OW	STL/LAY-IN	
RD	PRICE	PDDR	12"ø	24x24	OW	STL/LAY-IN	

NOTES:
1. ACCEPTABLE ALTERNATE MANUFACTURERS - METAL-AIRE, NAILOR, CARNES AND TITUS.
2. MC SHALL COORDINATE DIFFUSER TYPE WITH CEILING TYPE. SEE ARCHITECTURAL PLANS.
3. ALL MARKS MAY NOT BE USED.
4. INSTALL THERMAL BLANKETS ON THE BACK SIDE OF ALL DIFFUSERS.

MECHANICAL SYSTEMS SERVICE SYSTEMS AND EQUIPMENT:

Method of Compliance: Prescriptive Yes Performance _____ Energy Cost Budget _____

Thermal Zone: ZONE 3A

	R-Value	U-Value
Roof/ceiling:	30	0.033
Ext. Walls:	19	0.053
Doors:	6	0.167
Windows:	6	0.167
Walls Below Grade:	6	0.167
Floors Over Unconditioned spaces:	13	0.077
Floors On Slab:	6	0.167

Exterior Design Conditions

winter dry bulb 14°F
summer dry bulb 95°F

Interior Design Conditions

winter dry bulb 70°F
summer dry bulb 75°F
relative humidity 50% ±10%

Building heating load 73.6 MBH

Building cooling load 116.3 MBH

Mechanical Spacing Conditioning System

Unitary SEE SCHEDULES ON THIS SHEET
description of unit
heating efficiency
cooling efficiency
heat output of unit
cooling output of unit

Boiler:
Total Boiler Output. If Oversized, state reason: N/A

Chiller:
Total Chiller Capacity. If oversized, state reason: N/A

LIST EQUIPMENT EFFICIENCIES: ++See Motor Efficiencies Table This Sheet

EQUIPMENT SCHEDULES WITH MOTORS (Mechanical systems): ++ See HVAC Equipment Schedule This Sheet

Motor horsepower: _____ Motor type: _____
Number of phases: _____ # of poles: _____
Minimum efficiency: _____

MINIMUM OUTDOOR AIR REQUIREMENTS (NCSBC MECHANICAL 2018)

EQUIPMENT ID	ROOM NAME AND ROOM NUMBER	OCCUPANCY CLASSIFICATION	AREA SQFT.	PEOPLE CFM / PERSON	AREA CFM / SQ FT.	DENSITY /1000 SQFT.	MAXIMUM OCCUPANCY	TOTAL REQ. O.A. CFM	MINIMUM TOTAL O.A. PROVIDED	TOTAL REQ. E.A. CFM
AHU-1	DATA/ELEC 123	ELECTRICAL ROOM	19	0	0	0	0	0	0	0.0
	LAUNDRY/STRG 124	STORAGE ROOMS	27	0	0.12	0	0	3.24	0 **	0.0
	LOCKERS 125	LOCKER/CHNGRMS ROOMS	30	5	0.06	4	1	6.8	5 *	10.0
	UNISEX 126	TOILET ROOMS	59	0	0	0	0	0	0	70.0
	CAR WASH 127	SALES	13	7.5	0.12	15	1	9.06	5 *	0.0
	SINK 128	SALES	36	7.5	0.12	15	1	11.82	10 *	0.0
	CONCESSION 129	SALES	365	7.5	0.12	15	5	81.3	80 *	0.0
	VEST 130	CORRIDORS	42	0	0.06	0	0	2.52	0 *	0.0
	STRG 130A	STORAGE ROOMS	5	0	0.12	0	0	0.6	0 **	0.0
	OFFICE 131	OFFICE SPACE	116	5	0.06	5	1	11.96	10 **	0.0
	STRG 131A	STORAGE ROOMS	6	0	0.12	0	0	0.72	0 **	0.0
	SAFE 132	OFFICE SPACE	70	5	0.06	5	1	9.2	5 **	0.0
	STRG 133	STORAGE ROOMS	382	0	0.12	0	0	45.84	45 *	0.0
		TOTAL	1170	37.5		59	10	183.06	160 **	80.0
AHU-2	CORR 107	CORRIDORS	119	0	0.06	0	0	7.14	10	0.0
	OFFICE 108	OFFICE SPACE	115	5	0.06	5	1	11.9	15	0.0
	OFFICE 109	OFFICE SPACE	115	5	0.06	5	1	11.9	15	0.0
	WORKRM 111	OFFICE SPACE	102	5	0.06	5	1	11.12	15	0.0
	CORR 112	CORRIDORS	84	0	0.06	0	0	5.04	10	0.0
	OFFICE 113	OFFICE SPACE	127	5	0.06	5	1	12.62	15	0.0
	OFFICE 114	OFFICE SPACE	140	5	0.06	5	1	13.4	15	0.0
	STRG 115	STORAGE ROOMS	42	0	0.12	0	0	5.04	10	0.0
	DATA/ELEC 116	ELECTRICAL ROOM	25	0	0	0	0	0	0	0.0
	SAFE 118	STORAGE ROOMS	62	0	0.12	0	0	7.44	10	0.0
	VEST 101	CORRIDORS	61	0	0.06	0	0	3.66	0 *	0.0
	CONF/BREAKRM 102	CONFERENCE ROOM	323	5	0.06	50	16	99.38	100	0.0
	CORR 103	CORRIDORS	78	0	0.06	0	0	4.68	5	0.0
	VEST 104	CORRIDORS	50	0	0.06	0	0	3	0 *	0.0
	WOMEN 105	TOILET ROOMS	77	0	0	0	0	0	0	70.0
	MEN 106	TOILET ROOMS	54	0	0	0	0	0	0	70.0
		TOTAL	1574	30		75	21	195.32	220 *	140.0
EF-8	ATM 121	STORAGE ROOMS	31	0	0.12	0	0	3.72	0 *	0.0
AHU-3	WOMEN 122	TOILET ROOMS	171	0	0	0	0	0	0	210.0
AHU-4	MEN 120	TOILET ROOMS	171	0	0	0	0	0	0	210.0
WH-1	JAN 117	STORAGE ROOMS	18	0	0.12	0	0	2.16	0 *	0.0
		Total Sq. Ft.	3,135							
						GRAND TOTALS	31	385	380	640

* NATURAL VENTILATION AND MECHANICAL VENT MEETS NCSBC-MC 402.2 OPEN AREA OF EXTERIOR DOORS OR WINDOWS MEETS OR EXCEEDS 4% OF FLOOR AREA.
** NATURAL VENTILATION AND MECHANICAL VENT MEETS NCSBC-MC 402.3 VENTILATION THROUGH ADJOINING ROOMS SHALL BE UNOBSTRUCTED AND SHALL HAVE AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF THE INTERIOR ROOM OR SPACE.

FAN SCHEDULE

EQUIPMENT NUMBER	MFR.	LOCATION	MODEL	SERVICE	CFM	E.S.P. IN. W.G.	FAN RPM	MTR RPM	MTR POWER	ELECTRICAL VOLTS/PHASE/CYCLES	FLA	WEIGHT	SONES	dBA
EF-1	GREENHECK	CEILING	SP-B110	EXHAUST	100	0.5	950	950	80 W	115/1/60	0.7	10 LB.	2.7	42
EF-2	GREENHECK	CEILING	SP-A390	EXHAUST	300	0.5	1,350	1,350	150 W	115/1/60	1.3	10 LB.	1.6	36
EF-3	GREENHECK	CEILING	SP-A390	EXHAUST	300	0.5	1,350	1,350	150 W	115/1/60	1.3	10 LB.	1.6	36
EF-4	GREENHECK	CEILING	SP-B110	EXHAUST	100	0.5	950	950	80 W	115/1/60	0.7	10 LB.	2.7	42
EF-5	GREENHECK	CEILING	SP-B110	EXHAUST	100	0.5	950	950	80 W	115/1/60	0.7	10 LB.	2.7	42
EF-6	GREENHECK	CEILING	SP-B110	EXHAUST	100	0.5	950	950	80 W	115/1/60	0.7	10 LB.	2.7	42
EF-7	GREENHECK	CEILING	SP-B110	EXHAUST	100	0.5	950	950	80 W	115/1/60	0.7	10 LB.	2.7	42
EF-8	GREENHECK	CEILING	SP-B110	EXHAUST	100	0.5	950	950	80 W	115/1/60	0.7	10 LB.	2.7	42

NOTES:
1. EXHAUST FAN INFORMATION IS BASED UPON GREENHECK. PENN AND COOK ARE APPROVED EQUALS.
2. PROVIDE FACTORY MOUNTED AND WIRED DISCONNECT AND BACKDRAFT DAMPERS.
3. EF-1 , 5 AND 8 SHALL BE CONTROLLED BY A WALL SWITCH IN RESPECTIVE ROOMS.
4. EF-2, 3, 4, 6 AND 7 SHALL BE CONTROLLED BY A WALL SWITCH WITH BUILT IN OCCUPANCY SENSOR IN RESPECTIVE ROOMS.

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PUBLICATION OR REUSE OF THESE DRAWINGS OR ANY INCLUDED DETAILS MUST BE WITH THE WRITTEN CONSENT OF THE FIRM'S PRINCIPAL ARCHITECT.

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MECHANICAL SCHEDULE

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY, NC

NORTH CAROLINA PROFESSIONAL SEAL ENGINEER S. E. COLLINS, INC. P.E.

S. E. COLLINS ENGINEERING, INC. C-2809

DRAWN BY: BCH
CHECKED BY: SEC
DATE: 1.21.20
PROJECT #: 1903

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MECHANICAL SYSTEMS

1. REFER TO ARCHITECTURAL INDEX FOR PARTICULAR SPECIFICATIONS.

2. IT IS UNDERSTOOD AND AGREED THAT THE MECHANICAL CONTRACTOR HAS, BY CAREFUL EXAMINATION OF THE PLANS AND SPECIFICATIONS, AND THE SITE WHERE APPROPRIATE, SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, AND ALL CONDITIONS WHICH MUST BE MET IN ORDER TO CARRY OUT THE WORK UNDER THIS SECTION OF THE CONTRACT.

3. SCOPE OF THE WORK

   A. THE SCOPE OF THE WORK CONSISTS OF THE FURNISHING AND INSTALLING OF COMPLETE MECHANICAL SYSTEMS – EXTERIOR AND INTERIOR – INCLUDING MISCELLANEOUS SYSTEMS. THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL SUPERVISION, LABOR, MATERIALS, EQUIPMENT, MACHINERY, AND ANY OTHER ITEMS NECESSARY TO COMPLETE THE SYSTEMS. THE MECHANICAL CONTRACTOR SHALL NOTE THAT ALL ITEMS OF EQUIPMENT ARE SPECIFIED IN THE SINGULAR; HOWEVER, THE CONTRACTOR SHALL PROVIDE AND INSTALL THE NUMBER OF ITEMS OF EQUIPMENT AS INDICATED ON THE DRAWINGS AND AS REQUIRED FOR COMPLETE SYSTEMS.

   B. IT IS THE INTENTION OF THE SPECIFICATIONS AND DRAWINGS TO CALL FOR FINISHED WORK, TESTED, AND READY FOR OPERATION.

   C. ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON DRAWINGS BUT MENTIONED IN THE SPECIFICATIONS, OR VICE-VERSA, OR ANY ACCESSORIES AND ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND FITTED FOR USE SHOWN AND READY FOR OPERATION, EVEN IF NOT PARTICULARLY SPECIFIED, SHALL BE FURNISHED, DELIVERED, AND INSTALLED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

   D. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER INSTALLATION AND OPERATION, SHALL BE INCLUDED IN THE CONTRACTOR'S ESTIMATE, THE SAME AS IF HEREIN SPECIFIED OR SHOWN.

   E. WITH SUBMISSION OF BID, THE MECHANICAL CONTRACTOR SHALL GIVE WRITTEN NOTICE TO THE ENGINEER OF ANY MATERIALS OR APPARATUS BELIEVED INADEQUATE OR UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, AND ANY NECESSARY ITEMS, OR WORK OMITTED. IN THE ABSENCE OF SUCH WRITTEN NOTICE, IT IS MUTUALLY AGREED THAT THE CONTRACTOR HAS INCLUDED THE COST OF ALL REQUIRED ITEMS IN HIS PROPOSAL, AND THAT HE WILL BE RESPONSIBLE FOR THE APPROVED SATISFACTORY FUNCTIONING OF THE ENTIRE SYSTEM WITHOUT EXTRA EXPENDITURE.

4. MECHANICAL DRAWINGS

   A. THE MECHANICAL DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF EQUIPMENT AND WORK INCLUDED IN THE CONTRACT.

   B. CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED. MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITIONS AT ALL POINTS. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, THE ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION.

   C. IF DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.

5. CODES, PERMITS, AND FEES

   A. CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS AND PAY ALL GOVERNMENT TAXES, FEES AND OTHER COSTS, INCLUDING UTILITY CONNECTIONS OR EXTENSIONS IN CONNECTION WITH HIS WORK; FILE ALL NECESSARY PLANS, PREPARE ALL DOCUMENTS AND OBTAIN ALL NECESSARY APPROVALS OF ALL GOVERNMENTAL DEPARTMENTS HAVING JURISDICTION; OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION FOR HIS WORK AND DELIVER SAME TO THE ENGINEER BEFORE REQUEST FOR ACCEPTANCE AND FINAL PAYMENT FOR THE WORK.

   B. CONTRACTOR SHALL INCLUDE IN THE WORK, WITHOUT EXTRA COST TO THE OWNER, ANY LABOR MATERIALS, SERVICES, APPARATUS, DRAWINGS (IN ADDITION TO CONTRACT DRAWINGS AND DOCUMENTS) IN ORDER TO COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS, WHETHER OR NOT SHOWN ON DRAWINGS AND/OR SPECIFIED.

   C. WORK AND MATERIALS SHALL CONFORM TO THE LATEST RULES OF THE NATIONAL BOARD OF FIRE UNDERWRITERS' CODE, REGULATIONS OF THE STATE FIRE MARSHAL AND WITH APPLICABLE LOCAL CODES AND WITH ALL PREVAILING RULES AND REGULATIONS PERTAINING TO ADEQUATE PROTECTION AND/OR GUARDING OF ALL MOVING PARTS, OR OTHERWISE HAZARDOUS CONDITIONS. NOTHING IN THESE SPECIFICATIONS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE MOST STRINGENT OF APPLICABLE CODES.

   IF DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.

6. SHOP DRAWINGS

   A. THE MECHANICAL CONTRACTOR SHALL SUBMIT ONE (1) COPY OF THE SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL within FOURTEEN (14) DAYS AFTER THE AWARD OF THE CONTRACT. IF SUCH A SCHEDULE CANNOT BE MET, THE MECHANICAL CONTRACTOR MAY REQUEST IN WRITING FOR AN EXTENSION OF TIME TO THE ENGINEER. IF THE MECHANICAL CONTRACTOR DOES NOT SUBMIT SHOP DRAWINGS IN THE PRESCRIBED TIME, THE ENGINEER HAS THE RIGHT TO SELECT THE EQUIPMENT.

   B. SHOP DRAWINGS SHALL BE SUBMITTED ON ALL MAJOR PIECES OF MECHANICAL EQUIPMENT. EACH ITEM OF EQUIPMENT PROVIDED SHALL BE A STANDARD CATALOG PRODUCT OF AN ESTABLISHED MANUFACTURER. THE SHOP DRAWING SHALL GIVE COMPLETE INFORMATION ON THE PROPOSED EQUIPMENT. EACH ITEM OF THE SHOP DRAWINGS SHALL BE PROPERLY LABELED, INDICATING THE INTENDED SERVICE OF THE MATERIAL, THE JOB NAME AND MECHANICAL CONTRACTOR'S NAME.

   C. THE SHOP DRAWINGS SHALL BE NEATLY BOUND AND SUBMITTED TO THE ENGINEER WITH A LETTER OF TRANSMITTAL. THE LETTER OF TRANSMITTAL SHALL LIST EACH ITEM SUBMITTED ALONG WITH THE MANUFACTURER'S NAME.

   D. APPROVAL RENDERED ON SHOP DRAWINGS SHALL NOT BE CONSIDERED AS A GUARANTEE OF MEASUREMENTS, OR BUILDING CONDITIONS. WHERE DRAWINGS ARE APPROVED, SAID APPROVAL DOES NOT MEAN THAT DRAWINGS HAVE BEEN CHECKED IN DETAIL; SAID APPROVAL DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY, OR NECESSITY OF FURNISHING MATERIAL OR PERFORMING WORK AS REQUIRED BY THE CONTRACT DRAWINGS AND SPECIFICATIONS.

7. COOPERATION WITH OTHER TRADES

   A. THE MECHANICAL CONTRACTOR SHALL GIVE FULL COOPERATION TO OTHER TRADES AND SHALL FURNISH (IN WRITING, WITH COPIES TO ENGINEER) ANY INFORMATION NECESSARY TO PERMIT THE WORK OF ALL TRADES TO BE INSTALLED SATISFACTORILY AND WITH THE LEAST POSSIBLE INTERFERENCE OR DELAY.

   B. WHERE THE WORK OF THE MECHANICAL CONTRACTOR WILL BE INSTALLED IN CLOSE PROXIMITY TO WORK OF OTHER TRADES, OR WHERE THERE IS EVIDENCE THAT WORK OF THE MECHANICAL CONTRACTOR WILL INTERFERE WITH THE WORK OF OTHER TRADES, HE SHALL ASSIST IN WORKING OUT SPACE CONDITIONS TO MAKE A SATISFACTORY ADJUSTMENT. IF SO DIRECTED BY THE ENGINEER, THE MECHANICAL CONTRACTOR SHALL PREPARE COMPOSITE WORKING DRAWINGS AND SECTIONS AT A SUITABLE SCALE CLEARLY SHOWING HOW HIS WORK IS TO BE INSTALLED IN RELATION TO THE WORK OF OTHER TRADES, HE SHALL MAKE NECESSARY CHANGES IN HIS WORK TO CORRECT THE CONDITION WITHOUT EXTRA CHARGE.

   C. THE COMPLEXITY OF EQUIPMENT AND THE VARIATION BETWEEN EQUIPMENT MANUFACTURERS REQUIRES COMPLETE COORDINATION OF ALL TRADES. THE CONTRACTOR WHO OFFERS, FOR CONSIDERATION, SUBSTITUTES OF EQUAL PRODUCTS OF RELIABLE MANUFACTURERS, HAS TO BE RESPONSIBLE FOR ALL CHANGES THAT AFFECT HIS INSTALLATION AND THE INSTALLATION EQUIPMENT OF OTHER TRADES. ALL SYSTEMS AND THEIR ASSOCIATED CONTROLS MUST BE COMPLETELY INSTALLED, CONNECTED, AND OPERATING TO THE SATISFACTION OF THE ENGINEER PRIOR TO FINAL ACCEPTANCE AND CONTRACT PAYMENT.

9. AS-BUILT DRAWINGS

   A. THE MECHANICAL CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL DEVIATIONS IN WORK AS ACTUALLY INSTALLED FROM WORK INDICATED ON THE DRAWINGS. ON COMPLETION OF THE PROJECT, TWO (2) COMPLETE SETS OF MARKED-UP PRINTS SHALL BE DELIVERED TO THE ENGINEER.

10. INSPECTION AND CERTIFICATES

   A. ON THE COMPLETION OF THE ENTIRE INSTALLATION, THE APPROVAL OF THE ENGINEER AND OWNER SHALL BE SECURED, COVERING THE INSTALLATION THROUGHOUT. THE CONTRACTOR SHALL OBTAIN AND PAY FOR CERTIFICATE OF APPROVAL FROM THE PUBLIC AUTHORITIES HAVING JURISDICTION. A FINAL INSPECTION CERTIFICATE SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FINAL PAYMENT. ANY AND ALL COST INCURRED FOR FEES SHALL BE PAID FOR BY THE CONTRACTOR.

11. TESTS

   A. THE RIGHT IS RESERVED TO INSPECT AND TEST ANY PORTION OF THE EQUIPMENT AND/OR MATERIALS DURING THE PROGRESS OF ITS ERECTION.

   B. THE CONTRACTOR SHALL TEST THE ENTIRE SYSTEM IN THE PRESENCE OF THE ENGINEER WHEN THE WORK IS FINALLY COMPLETED TO ENSURE THAT ALL PORTIONS ARE FREE OF FAULTS. ALL EQUIPMENT NECESSARY TO CONDUCT THESE TESTS SHALL BE FURNISHED AT THE CONTRACTOR'S EXPENSE.

12. EQUIVALENTS

   A. WHEN MATERIAL OR EQUIPMENT IS MENTIONED BY NAME, IT SHALL FORM THE BASIS OF THE CONTRACT. WHEN APPROVED BY THE ENGINEER IN WRITING, OTHER MATERIAL AND EQUIPMENT MAY BE USED IN PLACE OF THOSE SPECIFIED, BUT WRITTEN APPLICATION FOR SUCH SUBSTITUTIONS SHALL BE MADE TO THE ENGINEER AS DESCRIBED IN THE BIDDING DOCUMENTS. THE DIFFERENCE IN COST OF SUBSTITUTE MATERIAL OR EQUIPMENT SHALL BE GIVEN WHEN SUCH REQUEST IS MADE. APPROVAL OF SUBSTITUTE IS, OF COURSE, CONTINGENT ON SAME MEETING SPECIFIED REQUIREMENTS AND BEING OF SUCH DESIGN AND DIMENSIONS AS TO COMPLY WITH SPACE REQUIREMENTS.

13. DUCTWORK GENERAL

   A. DUCTWORK SHALL BE FABRICATED TO CONFORM ACCURATELY TO THE REQUIRED DIMENSIONS AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. ALL DUCTWORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.

   B. DUCTWORK SHALL BE ANCHORED SECURELY TO THE BUILDING STRUCTURE IN AN APPROVED MANNER AND SHALL BE INSTALLED SO AS TO BE COMPLETELY FREE FROM VIBRATION UNDER ALL CONDITIONS OF OPERATION.

   C. DUCTWORK SHALL BE SUPPORTED INDEPENDENTLY BY THE BUILDING STRUCTURE. DUCTWORK SHALL NOT BE SUPPORTED BY OR FROM PIPING, OTHER DUCTWORK, CONDUIT, CABLE TRAY, BUSS DUCT, FANS, AIR HANDLING UNITS, OR OTHER EQUIPMENT OR COMPONENTS.

14. MATERIALS

   A. UNLESS OTHERWISE SPECIFIED, ALL DUCTWORK, INCLUDING ALL JOINT AND SEAM CONNECTORS, DRIVES, SLIPS, ETC., FURNISHED AND INSTALLED UNDER THIS SPECIFICATION, SHALL BE CONSTRUCTED OF LOCKFORMING QUALITY, GALVANIZED STEEL SHEETS WITH MINIMUM GALVANIZED COATING OF 1.25 OUNCES PER SQUARE FOOT. GALVANIZED STEEL SHEETS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A525, COATING G90.

   B. ALL FASTENERS SHALL BE CADMIUM PLATED OR GALVANIZED STEEL.

   C. ALL REINFORCING MEMBERS, STIFFENERS, HANGERS AND SUPPORTS FOR GALVANIZED DUCTWORK SHALL ALSO BE GALVANIZED STEEL.

   D. WHERE USED, CAULKING SHALL BE ALUMINUM PIGMENTED, NON-HARDENING TYPE.

   E. DUCT SEALER SHALL BE FAST SETTING, NON-HARDENING, THIXOTROPIC PASTE TYPE AND HARDCAST TAPE #FT-1403 – 3 INCHES WIDE.

   F. AFTER WELDING, ALL STEEL WORK SHALL BE PAINTED TO PREVENT RUSTING WITH AN APPROVED ZINC RICH PAINT OR OTHER RUST INHIBITOR.

   G. WHERE DISSIMILAR METALS ARE USED OR COME INTO CONTACT WITH DUCTWORK, NEOPRENE OR OTHER GASKETS, ZINC CHROMATE PAINT, ASPHALT IMPREGNATED PAPER, BITUMINOUS PAPER, OR OTHER APPROVED MATERIAL SHALL BE FURNISHED AND INSTALLED TO PROVIDE DIELECTRIC ISOLATION.

15. LOW PRESSURE HVAC DUCTWORK

   A. GENERAL

      LOW PRESSURE DUCTWORK SHALL INCLUDE ALL DUCTWORK WITH A STATIC PRESSURE OF 2 IN. WG. OR LESS AND AIR VELOCITIES OF 2500 FEET PER MINUTE OR LESS.

   B. FABRICATION

      ROUND BRANCH DUCT TO RECTANGULAR DUCT CONNECTIONS LOW PRESSURE DUCTWORK SHALL BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE SMACNA LOW PRESSURE DUCT CONSTRUCTION STANDARDS, FIFTH EDITION (1976), WITH THE EXCEPTIONS AND CLARIFICATIONS SPECIFIED HEREIN. TABLES, PAGES, AND/OR FIGURE NUMBERS REFERENCED IN THIS SECTION OF THE SPECIFICATION REFER TO TABLES, PAGE NUMBERS, AND/OR FIGURE NUMBERS IN THE SMACNA LOW PRESSURE DUCT CONSTRUCTION STANDARDS.

   C. SEALING

      ALL LOW PRESSURE DUCTWORK, BOTH RECTANGULAR AND ROUND, REGARDLESS OF PRESSURE CLASSIFICATION SHALL BE SEALED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SMACNA SEAL CLASS B (SMACNA MANUAL 150, 1985).

   D. RECTANGULAR DUCTWORK

      1. GAUGES

         SHEET METAL GAUGES FOR RECTANGULAR DUCTWORK SHALL BE AS SHOWN IN TABLE 1-5, PAGE 1-17 (SMACNA), EXCEPT NO THICKNESS LESS THAN 24 GAUGE SHALL BE USED.

      2. JOINTS, SEAMS AND REINFORCING

         JOINTS, SEAMS, AND REINFORCING FOR RECTANGULAR DUCTWORK SHALL BE IN ACCORDANCE WITH PAGES 1-17 THROUGH 1-23 AND PAGES 1-25 THROUGH 1-38 (SMACNA), EXCEPT THAT JOINT "L-2" SHALL NOT BE USED. FOR CORNER CLOSURES OF POCKET LOCK JOINTS, FABRICATE AS SHOWN IN FIG. 1-6 OR FIG. 1-7. SPOT WELDING OR RIVETING THE METAL. DO NOT STAPLE. IF ANGLE REINFORCED POCKET LOCKS OR COMPANION ANGLES ARE USED, MITER THE ANGLES AT CORNERS AND WELD.

      3. ELBOWS

         A. RADIUS ELBOWS FOR RECTANGULAR DUCTWORK SHALL BE FABRICATED IN ACCORDANCE WITH FIG. 2-1, PAGE 2-2 (SMACNA). WHERE POSSIBLE, ELBOWS SHALL BE FULL RADIUS TYPE WITH CENTERLINE RADIUS EQUAL TO 1.5 TIMES THE DUCT WIDTH.

         B. STANDARD 90 DEG. MITERED ELBOWS FOR RECTANGULAR DUCTWORK SHALL BE PROVIDED WITH SINGLE THICKNESS TURNING VANES WHICH SHALL BE CONSTRUCTED IN ACCORDANCE WITH FIG. 2-3, PAGE 2-4 AND FIG. 2-4, PAGE 2-5 (SMACNA). AS AN ALTERNATE, THE SUBCONTRACTOR MAY USE FACTORY MANUFACTURED TURNING VANES AND RUNNERS. FACTORY MANUFACTURED VANES SHALL BE SINGLE THICKNESS TYPE WITH MATCHING RUNNERS. FACTORY MANUFACTURED TURNING VANES AND RUNNERS SHALL BE INSTALLED IN ACCORDANCE WITH FIG. 2-3 AND 2-4 (SMACNA).

      4. CONNECTIONS

         BRANCH DUCT CONNECTIONS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH FIG. 2-5, 2-6 AND 2-10 (SMACNA), WITH THE FOLLOWING EXCEPTIONS AND CLARIFICATIONS:

         A. STRAIGHT TAP CONNECTIONS AS SHOWN IN FIG. 2-5 AND 2-10 (SMACNA) SHALL NOT BE USED FOR RECTANGULAR BRANCH DUCT CONNECTIONS, BUT MAY BE USED FOR DUCT MOUNTED REGISTERS AND GRILLES. RECTANGULAR BRANCH DUCT CONNECTIONS SHALL BE MADE USING A 45 DEG. ENTRY AS SHOWN IN FIG. 2-5 AND 2-10 (SMACNA).

         B. SPIN-IN FITTINGS AND DOVETAIL JOINTS AS SHOWN IN FIG. 2-10, PAGE 2-11 (SMACNA) SHALL NOT BE USED.

            SHALL BE MADE USING CONICAL BELLMOUTH, OR FLANGED CONNECTIONS AS SHOWN IN FIG. 2-10 (SMACNA).

         C. AIR EXTRACTORS AS SHOWN IN FIG. 2-5 AND 2-10 (SMACNA) SHALL NOT BE USED.

      5. TRANSITIONS AND OFFSETS

         TRANSITIONS AND OFFSETS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH FIG. 2-7, PAGE 2-8 (SMACNA).

      6. SUPPORTS

         A. SUPPORTS FOR RECTANGULAR DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SECTION V OF THE SMACNA LOW PRESSURE DUCT CONSTRUCTION STANDARDS, FIFTH EDITION (1976), WITH EXCEPTIONS AND CLARIFICATIONS AS SPECIFIED HEREIN.

         B. ALL NECESSARY MATERIALS AND COMPONENTS, INCLUDING MISCELLANEOUS STEEL, REQUIRED FOR PROPER SUPPORT OF ALL DUCTWORK SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR.

         C. THE UPPER ATTACHMENT OF EACH TRAPEZE SUPPORT TO THE BUILDING STEEL, OR TO MISCELLANEOUS STEEL FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR, SHALL BE SIMILAR TO TYPE 4A AS SHOWN IN FIG. 5-2, PAGE 5-3 (SMACNA). ALL CLAMPS SHALL INCORPORATE SUBSTANTIAL RETAINING CLIPS.

         D. THE LOWER HANGER ATTACHMENT SHALL BE AS SHOWN FOR TRAPEZE HANGERS IN FIG. 5-4, PAGE 5-7 (SMACNA), AND SHALL INCLUDE THREADED HANGER RODS, SUPPORT ANGLE, AND HARDWARE. THE DIAMETER OF THE HANGER RODS SHALL BE AS SHOWN IN TABLE 5-1, PAGE 5-8 (SMACNA). ACTUAL LOADS ON SUPPORT ANGLES SHALL NOT EXCEED THE ALLOWABLE LOADS SHOWN IN TABLE 5-3, PAGE 5-10 (SMACNA). LENGTH OF TRAPEZE SUPPORT ANGLES SHALL NOT EXCEED DUCT WIDTH BY MORE THAN 6 INCHES.

16. DUCTWORK ACCESSORIES

   A. MANUAL VOLUME DAMPERS

      MANUAL VOLUME DAMPERS SHALL BE OPPOSED BLADE TYPE. DAMPERS SHALL BE CONSTRUCTED OF GALVANIZED STEEL AND SHALL HAVE MINIMUM 16 GAUGE HAT CHANNEL FRAME. DAMPER AXLES SHALL BE 1/2" PLATED STEEL HEX AND BEARINGS SHALL BE STAINLESS STEEL OR OIL-IMPREGNATED BRONZE. DAMPER BLADES SHALL BE WITH 14 GAUGE EQUIVALENT THICKNESS. DAMPER BLADES SHALL NOT EXCEED 6" IN WIDTH OR 54" IN LENGTH. WHERE REQUIRED DAMPER BLADE LENGTH EXCEEDS 54", DAMPER SHALL BE FURNISHED AS A FACTORY FABRICATED AND ASSEMBLED MULTI-SECTION ASSEMBLY WITH HEAVY DUTY JACKSHAFT FOR OPERATION OF THE ENTIRE ASSEMBLY AS A SINGLE UNIT. DAMPERS SHALL BE LOW LEAKAGE TYPE AND SHALL BE PROVIDED WITH EXTRUDED VINYL BLADE EDGE SEALS AND FLEXIBLE METAL COMPRESSION TYPE JAMB SEALS. DAMPER LEAKAGE RATE, FOR A 48" WIDE DAMPER AT A DIFFERENTIAL PRESSURE OF 1 INCH WATER GAUGE, SHALL NOT EXCEED 3 CUBIC FEET OF AIR PER MINUTE PER SQUARE FOOT OF DAMPER AREA WHEN TESTED IN ACCORDANCE WITH AMCA STANDARD 500. EACH MANUAL VOLUME DAMPER SHALL BE PROVIDED WITH A HEAVY DUTY, 90 DEG. MANUAL LOCKING QUADRANT OPERATOR.

17. FLEXIBLE DUCTWORK (HVAC)

   A. CONSTRUCTION

      FLEXIBLE DUCTWORK SHALL CONSIST OF A CORROSION RESISTANT, VINYL COATED SPRING STEEL WIRE HELIX WITH ACOUSTICALLY TRANSPARENT LINER OR PERFORATED ALUMINUM INNER LINER, A MINIMUM ONE (1) INCH THICK FIBERGLASS INSULATION WRAPPING, AND A CLASS 1 VINYL VAPOR BARRIER. THE MAXIMUM LENGTH OF FLEX DUCT ALLOWED WILL BE 48".

   B. RATING

      FLEXIBLE DUCTWORK, INCLUDING INSULATION AND VAPOR BARRIER, SHALL BE LISTED AND LABELED AS A CLASS 1 AIR DUCT IN ACCORDANCE WITH UL STANDARD 181.

      FLEXIBLE DUCTWORK, INCLUDING INSULATION AND VAPOR BARRIER, SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPED RATING OF 50.
      FLEXIBLE DUCTWORK SHALL BE RATED FOR AN OPERATING PRESSURE UP TO 2.0 IN. WG., A VELOCITY OF 1500 FEET PER MINUTE, AND AN OPERATING TEMPERATURE OF 0 DEG. F. TO 180 DEG. F.

      THE THERMAL CONDUCTANCE OF FLEXIBLE DUCTWORK INSULATION SHALL NOT EXCEED 0.23 BTU-IN/HR-SQ.FT.-DEG.F.

18. INSULATION

   A. GENERAL

      THE MECHANICAL CONTRACTOR SHALL HAVE AN INSULATION SUBCONTRACTOR FURNISH AND INSTALL INSULATION AND ACCESSORY MATERIALS AND COMPONENTS AS SPECIFIED HEREIN.

   B. SCOPE

      FURNISH AND INSTALL INSULATION AND ACCESSORY MATERIALS INCLUDING, BUT NOT LIMITED TO, ADHESIVE, MASTICS, SEALERS, WELD PINS, COATINGS, VAPOR BARRIERS, AND TAPES, AS REQUIRED TO MEET THE SOUND LEVEL REQUIREMENTS SPECIFIED HEREIN, PREVENT SURFACE CONDENSATION, PROVIDE PERSONNEL PROTECTION, AND PROVIDE ENERGY EFFICIENT THERMAL COVERING SYSTEMS FOR ALL DUCTWORK, PIPING, EQUIPMENT AND APPURTENANCES FURNISHED AND INSTALLED UNDER THIS SPECIFICATION.

   C. QUALITY ASSURANCE

      ALL INSULATION AND ACCESSORY MATERIALS, AND THE INSTALLATION THEREOF, SHALL MEET THE REQUIREMENTS OF THE CODES, STANDARDS, REGULATIONS, AND OTHER DOCUMENTS REFERENCED IN THIS SPECIFICATION.

   D. FLAME SPREAD AND SMOKE DEVELOPED RATINGS

      ALL INSULATION AND ACCESSORY MATERIALS WHICH ARE FURNISHED AND INSTALLED UNDER THIS SPECIFICATION, SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPED RATING OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 255, ASTM E-84, OR UL 723.

      MATERIALS THAT ARE FACTORY APPLIED SHALL BE TESTED AS ASSEMBLED AND SHALL BE CERTIFIED BY THE MANUFACTURER TO MEET THESE STANDARDS. MATERIALS WHICH ARE FIELD APPLIED MAY BE TESTED INDIVIDUALLY. NO FUGITIVE OR CORROSION TREATMENTS SHALL BE EMPLOYED TO IMPART FLAME RESISTANCE.

   E. INSULATION THICKNESS

      INSULATION THICKNESSES SHALL BE EQUAL TO OR GREATER THAN THAT REQUIRED BY THE MORE STRINGENT OF THE FOLLOWING REQUIREMENTS:

      1. THE INSULATION THICKNESSES NECESSARY TO MEET THE REQUIREMENTS OF SECTION 20 BELOW.

      2. THE INSULATION THICKNESSES NECESSARY TO MEET THE REQUIREMENTS OF ASHRAE STANDARD 90A.

      3. THE INSULATION THICKNESSES NECESSARY TO MEET THE ENERGY PERFORMANCE REQUIREMENTS OF THE STATE OF NORTH CAROLINA.

19. GENERAL REQUIREMENTS

   A. ALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS AND AS SPECIFIED HEREIN.

   B. NO INSULATION SHALL BE APPLIED TO ANY PIPING, DUCTWORK, EQUIPMENT, OR APPURTENANCE UNTIL THE WORK TO BE INSULATED AND INSPECTED BY THE OWNER'S REPRESENTATIVE, AND RELEASED FOR INSULATION. ALL SURFACES TO BE INSULATED SHALL BE PROPERLY CLEANED BY THE MECHANICAL CONTRACTOR PRIOR TO INSPECTION BY THE OWNER'S REPRESENTATIVE.

   C. INSULATION SHALL BE APPLIED TO CLEAN, DRY SURFACES AFTER TESTS AND APPROVALS REQUIRED BY THIS SPECIFICATION HAVE BEEN COMPLETED.

   D. ALL INSULATION SHALL BE KEPT DRY AND PROTECTED FROM DAMAGE BOTH BEFORE AND DURING APPLICATION. ANY INSULATION WHICH BECOMES WET PRIOR TO APPLICATION SHALL BE DISCARDED. ANY INSULATION WHICH BECOMES WET AFTER APPLICATION SHALL BE REMOVED AND REPLACED.

   E. WHERE STICK CLIPS ARE USED IN LIEU OF WELD PINS FOR THE ATTACHMENT OF INSULATION TO THE SURFACES TO BE INSULATED, THE MECHANICAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CLEANING THE SURFACES TO BE INSULATED OF ALL OIL, SILICONE, OR OTHER SUBSTANCES WHICH MAY INTERFERE WITH THE PROPER ADHESION OF THE STICK CLIPS TO THE SURFACE TO BE INSULATED.

   F. ALL INSULATION SHALL BE APPLIED IN A WORKMANLIKE MANNER BY SKILLED WORKMEN REGULARLY ENGAGED IN THIS TYPE OF WORK. ANY INSULATION WORK, WHICH IN THE OPINION OF THE OWNER'S REPRESENTATIVE, IS NOT IN ACCORDANCE WITH THE BEST PREVAILING TRADE PRACTICE SHALL BE REMOVED AND REPLACED AT NO COST TO THE OWNER.

   G. ON COLD SURFACES WHERE A VAPOR BARRIER MUST BE MAINTAINED TO PREVENT CONDENSATION, INSULATION SHALL BE APPLIED WITH A CONTINUOUS, UNBROKEN MOISTURE AND VAPOR SEAL. ALL HANGERS, SUPPORTS, ANCHORS, OR OTHER PROJECTIONS THAT ARE IN CONTACT WITH COLD SURFACES SHALL BE INSULATED AND VAPOR SEALED TO PREVENT CONDENSATION.

   H. ALL SURFACE FINISHES SHALL BE EXTENDED IN SUCH A MANNER AS TO PROTECT ALL RAW EDGES, ENDS, AND SURFACES OF INSULATION.

   I. ALL PIPE OR DUCT INSULATION SHALL BE CONTINUOUS THROUGH WALLS, CEILING OR FLOOR OPENINGS, AND/OR SLEEVES, EXCEPT WHERE FIRE DAMPERS OR FIRESAFING MATERIALS ARE REQUIRED.

20. INSULATION FOR HVAC DUCTWORK

   A. GENERAL

      THE INSULATION SUBCONTRACTOR SHALL APPLY INSULATION ON CLEAN, DRY SURFACES AFTER THE DUCTWORK HAS BEEN TESTED, INSPECTED AND RELEASED FOR INSULATION APPLICATION.

   B. INSULATION

      DUCT WRAP SHALL BE FLEXIBLE FIBERGLASS INSULATION WITH A FACTORY APPLIED FSK EXTERIOR FACING. DUCT WRAP SHALL HAVE A THICKNESS OF 2" WITH A DENSITY OF 3/4 POUNDS PER CUBIC FOOT AND SHALL BE SUITABLE FOR TEMPERATURES UP TO 250 DEG. F. UNLESS OTHERWISE REQUIRED BY CODES, STANDARDS, REGULATIONS, AND OTHER DOCUMENTS REFERENCED HEREIN, DUCT WRAP SHALL HAVE A MAXIMUM THERMAL CONDUCTIVITY OF 0.24 BTU-IN/HR-FT-SQ-DF AT 75 DEG. F. MEAN TEMPERATURE. EXTERIOR FACING SHALL HAVE A MAXIMUM VAPOR TRANSMISSION RATE OF 0.02 PERMS GRAINS/HR-FT-SQ-IN. HG) WHEN TESTED IN ACCORDANCE WITH ASTM E96, PROCEDURE A OR EQUIVALENT.

21. GUARANTEE

   THE MECHANICAL CONTRACTOR SHALL GUARANTEE, BY HIS ACCEPTANCE OF THE CONTRACT, THAT ALL WORK INSTALLED WILL BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. IF DURING THE PERIOD OF ONE YEAR, OR AS OTHERWISE SPECIFIED, FROM DATE OF CERTIFICATE OF COMPLETION AND ACCEPTANCE OF WORK, ANY SUCH DEFECTS IN WORKMANSHIP, MATERIALS OR PERFORMANCE APPEAR, THE CONTRACTOR SHALL WITHOUT COST TO THE OWNER, REMEDY SUCH DEFECTS WITHIN A REASONABLE TIME TO BE SPECIFIED IN NOTICE FROM ENGINEER. IN DEFAULT, THE OWNER MAY HAVE SUCH WORK DONE AND CHARGE COST TO CONTRACTOR.

the BOGLE FIRM
ARCHITECTURE
110 N. MAIN ST pete@boglefirm.com
SUITE 200 www.boglefirm.com
SALISBURY, NC 28144 704.638.2015

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Salisbury, NC 28146
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Tel: (704) 638-6337
Fax: (704) 638-6340

MECHANICAL SPECIFICATIONS

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY, NC

NORTH CAROLINA PROFESSIONAL SEAL CERTIFICATION — NICHOLAS E. COLLINS, P.E.

S. E. COLLINS CONSULTING ENGINEERS, INC. C-2809

DRAWN BY: BCH
CHECKED BY: SEC
DATE: 1.21.20
PROJECT #: 1903

SHEET NUMBER
M4.1
OF: 4

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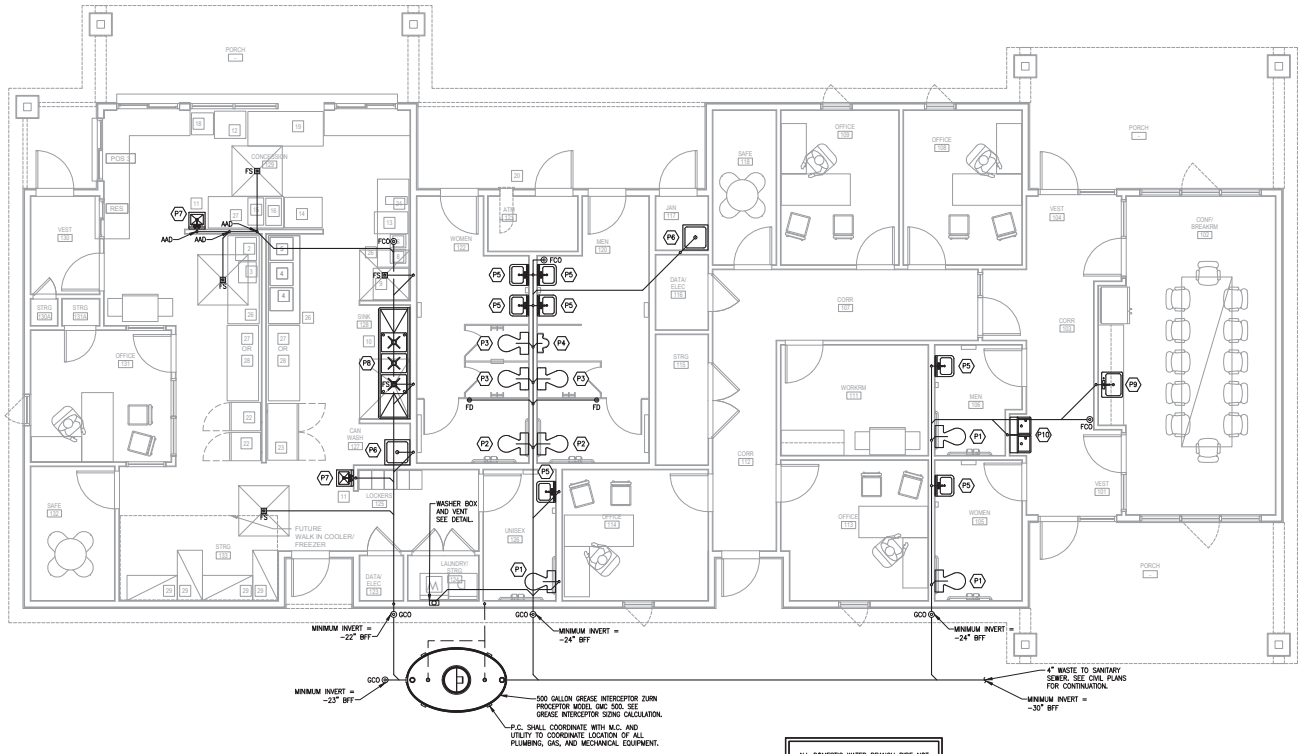


1 P1.1 **WASTE PIPING PLAN**
SCALE: 1/4" = 1'-0"

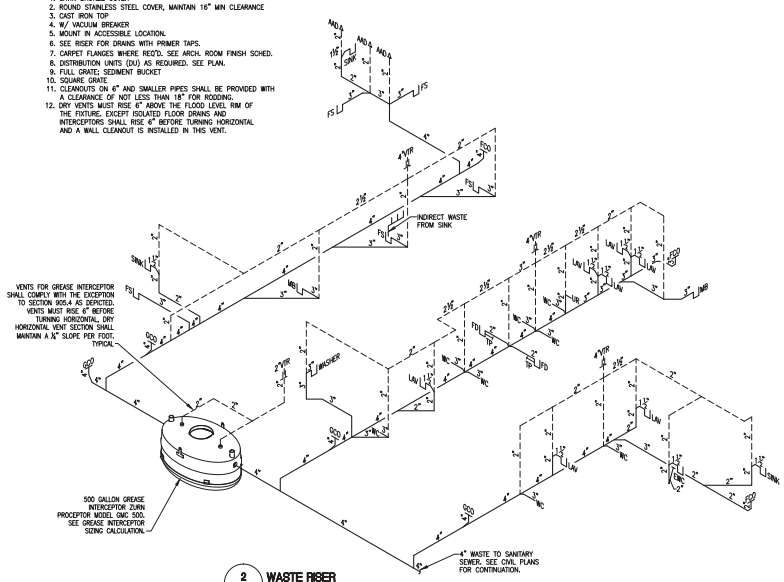
ALL DOMESTIC WATER BRANCH PIPE NOT OTHERWISE INDICATED SHALL BE ¾"

PLUMBING SPECIALTIES SCHEDULE

SYM	DESCRIPTION	*MFR & MODEL	NOTE
FD	FLOOR DRAIN	SMITH 2005-03B	1,6,10
FCO	FLOOR CLEANOUT	SMITH 4040 SERIES	1,7
WCO	WALL CLEANOUT	SMITH 4530 SERIES	2,11
GCO	GRADE CLEANOUT	SMITH 4250 SERIES	3
AFWH	WALL HYDRANT	SMITH 5509QT	4
HB	HOSE BIBB	T&S BRASS B-0736-POL	4
SA-1	SHOCK ABSORBER	SMITH 5005	5
SA-2	SHOCK ABSORBER	SMITH 5010	5
SA-3	SHOCK ABSORBER	SMITH 5020	5
TP	TRAP PRIMER	PPP PR-500	5,8
FS-1	FLOOR SINK	SMITH 3008-12	6,9
AAD	AIR ADMITTANCE DEVICE	STUDOR 20301	5

*ACCEPTABLE EQUAL ALTERNATES BY ZURN OR WADE.

NOTE:
1. SATIN BRONZE COVER
2. ROUND STAINLESS STEEL COVER, MAINTAIN 16" MIN CLEARANCE
3. CAST IRON TOP
4. W/ VACUUM BREAKER
5. MOUNT IN ACCESSIBLE LOCATION.
6. SEE RISER FOR DRAINS WITH PRIMER TAPS.
7. CARPET FLANGES WHERE REQ'D. SEE ARCH. ROOM FINISH SCHED.
8. DISTRIBUTION UNITS (DU) AS REQUIRED. SEE PLAN.
9. FULL GRATE; SEDIMENT BUCKET
10. SQUARE GRATE
11. CLEANOUTS ON 6" AND SMALLER PIPES SHALL BE PROVIDED WITH A CLEARANCE OF NOT LESS THAN 18" FOR RODDING.
12. DRY VENTS MUST RISE 6" ABOVE THE FLOOD LEVEL RIM OF THE FIXTURE. EXCEPT ISOLATED FLOOR DRAINS AND INTERCEPTORS SHALL RISE 6" BEFORE TURNING HORIZONTAL AND A WALL CLEANOUT IS INSTALLED IN THIS VENT.



2 P1.1 **WASTE RISER**
SCALE: NONE

PLUMBING FIXTURE SCHEDULE

		DESCRIPTION	MFR	MODEL	CW	HW	WASTE	ACCESSORIES
P1	WATER CLOSET ADA	FLOOR MOUNTED, ELONGATED BOWL, 1.6 gpf FLUSH TANK, WHITE, COORDINATE LEFT/RIGHT HAND LEVER LOCATION	ZURN KOHLER AM. STANDARD	Z5551 EQUAL EQUAL	⅜"	–	3"	CHURCH 295CT SEAT, CHROME ANGLE STOP PROFLO PF147 BRAIDED STAINLESS STEEL SUPPLY CONNECTORS
P2	WATER CLOSET ADA	FLOOR MOUNTED, ELONGATED BOWL, SIPHON JET, 1.28 gpf FLUSH VALVE, WHITE, COORDINATE LEFT/RIGHT HAND LEVER LOCATION	ZURN KOHLER AM. STANDARD	Z5665-BWL EQUAL EQUAL	1"	–	3"	SLOAN REGAL 111 FLUSH VALVE, CHURCH 295CT SEAT
P3	WATER CLOSET	FLOOR MOUNTED, ELONGATED BOWL, SIPHON JET, 1.28 gpf FLUSH VALVE, WHITE	ZURN KOHLER AM. STANDARD	Z5655-BWL EQUAL EQUAL	1"	–	3"	SLOAN REGAL 111 FLUSH VALVE, CHURCH 295CT SEAT
P4	URINAL ADA	WALL MOUNTED, VITREOUS CHINA, MOUNT FOR ADA COMPLIANCE, WHITE	SLOAN ZURN KOHLER	WES-1000 EQUAL EQUAL	–	–	2"	WALL HANGER BRACKETS
P5	LAVATORY ADA	WALL MOUNTED, VITREOUS CHINA 4" CTR DRILLING, MOUNT FOR ADA COMPLIANCE, WHITE	ZURN KOHLER AM. STANDARD	Z5340 EQUAL EQUAL	⅜"	⅜"	1¼"	SLOAN ETF-80 24 VOLT SENSOR FAUCET W/ 0.5 GPM, GRID STRAINER W/ OFFSET TAILPIECE, CHROME P-TRAP & STOPS, THERMOSTATIC MIXING VALVE AND McGUIRE PM 2150WC ADA INSUL. KIT.
P6	MOP BASIN	12" DEEP TERRAZZO MOP RECEPTOR WITH TILING FLANGE(S) AND STAINLESS STEEL CAP	S. WILLIAMS ACORN	SB-902-L 24x24 EQUAL	½"	½"	3"	T-10-V8 FAUCET (ROUGH CHROME) w/ VACUUM BREAKER, T-35 HOSE & HOOK, T-40 MOP HANGER, BP SPLASH PANEL(S)
P7	HAND WASH SINK ADA	WALL MOUNTED, SINGLE BOWL, 18 ga. STAINLESS STEEL, 4" CENTERS	JUST KOHLER ELKAY	A33338 EQUAL EQUAL	½"	½"	1½"	CHICAGO 1100-GN2AE35-317AB DUAL WRISTBLADE FAUCET 1.5 gpm, K-8801 CUP STRAINER, CHROME P-TRAP, STOPS AND THERMOSTATIC MIXING VALVE.
P8	THREE COMPARTMENT SINK	FLOOR MOUNTED, THREE COMPARTMENT, 18 ga. STAINLESS STEEL, 8" CENTERS	JUST KOHLER ELKAY	NSFB-345-24RL EQUAL EQUAL	⅜"	⅜"	1½"	CHICAGO 1100-GN8AE35-317AB DUAL WRISTBLADE FAUCET 1.5 gpm, K-8801 CUP STRAINER, CHROME P-TRAP, STOPS AND THERMOSTATIC MIXING VALVE.
P9	SINGLE BOWL SINK	SURFACE MOUNTED, SELF-RIMMING, SINGLE BOWL, 18 ga. STAINLESS STEEL, 8" CENTERS	JUST KOHLER ELKAY	SL-ADA-2225-A-GR EQUAL EQUAL	⅜"	⅜"	1¼"	CHICAGO 1100-GN8AE35-317AB DUAL WRISTBLADE FAUCET 1.5 gpm, K-8801 CUP STRAINER, CHROME P-TRAP, STOPS AND THERMOSTATIC MIXING VALVE.
P10	WATER COOLER ADA	WALL HUNG, BARRIER-FREE, SPLIT-LEVEL DUPLEX MOUNTED FOR ADA COMPLIANCE WITH RECESSED BOTTLE FILLER.	ELKAY OASIS HAWS	EZSTLBWSSK EQUAL EQUAL	⅜"	–	1¼"	CHROME P-TRAP AND ANGLE STOP

FIXTURE UNIT CALCULATIONS (BASED UPON 2018 CODE REQUIRMENTS)

Fixture Type	Number of Fixtures	Load Value Per Fixture Cold	Hot	Total	Load Value Fixture Totals Cold	Hot	Total	Drainage Fixture Unit Value (Per Fixture)	Drainage Fixture Unit Value Total
Anti-Freeze Wall Hydrant	4	3	0	3	12	0	12	0	0
Drinking fountain	1	0.25	0	0.25	0.25	0	0	0.5	0.5
Floor Drain	2	0	0	0	0	0	0	2	4
Floor Sink	4	0	0	0	0	0	0	2	8
Lavatory Public Faucet	7	1.5	1.5	2	10.5	10.5	14	1	7
Mop Basin	2	1.5	1.5	3	3	3	6	2	4
Sink	3	2.25	2.25	3	6.75	6.75	9	2	6
Urinal	1	5	0	5	5	0	5	4	4
Water closet	8	5	0	5	40	0	40	6	48
Refrigerator	1	0	0	0	0	0	0	0	0
Washing Machine (8 lb) Private Automa	1	1	1	1.4	1	1	1	2	2
	34 Total # of Fixtures				78.5 Cold	21.25 Hot	87.65 Total	21.5 Per Fixture	83.5 Total
					Total Water Fixture Units			Waste Fixture Units Totals	

PLUMBING NOTES

1. PLUMBING CONTRACTOR (P.C.) SHALL FIELD VERIFY ALL CONDITIONS AT THE JOB SITE PRIOR TO BEGINNING WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
2. P.C. SHALL COORDINATE SCHEDULING OF WORK WITH GENERAL CONTRACTOR.
3. UNLESS OTHERWISE INDICATED ON PLANS, ALL DOMESTIC WATER PIPING AND SANITARY VENTS FOR SPACES ARE ROUTED ABOVE CEILING. SANITARY WASTE AND DRAIN PIPING IS LOCATED BELOW FLOOR (IN LOWER LEVEL AREAS OR UNDER SLAB)
4. PLUMBING WORK SHALL INCLUDE INSTALLATION OF DOMESTIC HOT AND COLD WATER PIPING, AND WASTE AND VENT PIPING AS INDICATED ON PLUMBING PLANS. DOMESTIC WATER SYSTEM COMPONENTS SHALL BE DESIGNED TO WITHSTAND THE MAXIMUM SYSTEM STATIC AND FLOW PRESSURE, BUT IN NO CASE SHALL BE LESS THAN 125 POUND CLASS.
5. COORDINATE PLUMBING WORK WITH OTHER TRADES TO AVOID CONFLICTS.
6. DOMESTIC WATER PIPE SHALL BE CPVC FOR ½" OR LARGER AND PEX WITH MECHANICAL FITTINGS FOR 1" AND SMALLER – PIPE SIZES INDICATED ARE NOMINAL DIMENSIONS.
7. WASTE AND VENT PIPING SHALL BE SCHEDULE 40 PVC. DO NOT INSTALL PVC IN HVAC PLENUMS. USE SCHEDULE 40 CAST IRON INSTEAD AND WHERE NOTED ON PLAN.
8. DOMESTIC WATER PIPE ABOVE GRADE SHALL BE INSULATED. PROVIDE FIBERGLASS INSULATION WITH FACTORY JACKET, PREFORMED FITTINGS WITH PVC JACKETS AT ELBOWS. 1" INSULATION FOR PIPE 1" AND SMALLER, 1½" INSULATION FOR PIPE 1¼" TO 2½".
9. LABEL ALL DOMESTIC WATER PIPING. SEE DETAIL SHEET.

LEGEND

PIPE ELBOW
PIPE TEE
PIPE ELBOW DOWN
CONNECT TO EXISTING
¾"HW (SIZE) HOT WATER
¾"CW (SIZE) COLD WATER
3"W (SIZE) SANITARY WASTE
ONE HOUR FIRE RATED WALL
BALL VALVE
SHOCK ABSORBER
TRAP PRIMER
ANTI-FREEZE WALL HYDRANT
B&G CIRCUIT SETTER
EXIST. ¾"CW (SIZE) COLD WATER
EXIST. 3"W (SIZE) SANITARY WASTE

ABBREVIATIONS

GCO	GRADE CLEANOUT	AFWH	ANTI-FREEZE WALL HYDRANT
FCO	FLOOR CLEANOUT	UR	URINAL
LAV	LAVATORY	WC	WATER CLOSET
FS	FLOOR SINK	DW	DISH WASHER
HB	HOSE BIBB	EW	EYE WASH
MB	MOP BASIN	ES/EW	EMERGENCY SHOWER/EYE WASH
V	PLUMBING VENT	DT	DILUTION TANK
VTR	VENT THRU ROOF	HD	HUB DRAIN FOR MECHANICAL CONDENSATE SHALL BE LOCATED ABOVE FINISHED CEILING. PROVIDE ACCESS AND TP
CW	COLD WATER		
HW	HOT WATER		
HWR	HOT WATER RETURN		
AD	ACCESS DOOR		

the BOGLE FIRM ARCHITECTURE
110 N. MAIN ST SUITE 200 SALISBURY, NC 28144
pete@boglefirm.com
www.boglefirm.com
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WASTE PIPING PLAN

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY, NC

NORTH CAROLINA PROFESSIONAL SEAL ENGINEER STEVEN E. COLLINS, P.E.
S. E. COLLINS ENGINEERING, P.A. C-2809

DRAWN BY: BCH
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DATE: 1.21.20
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OF: 3

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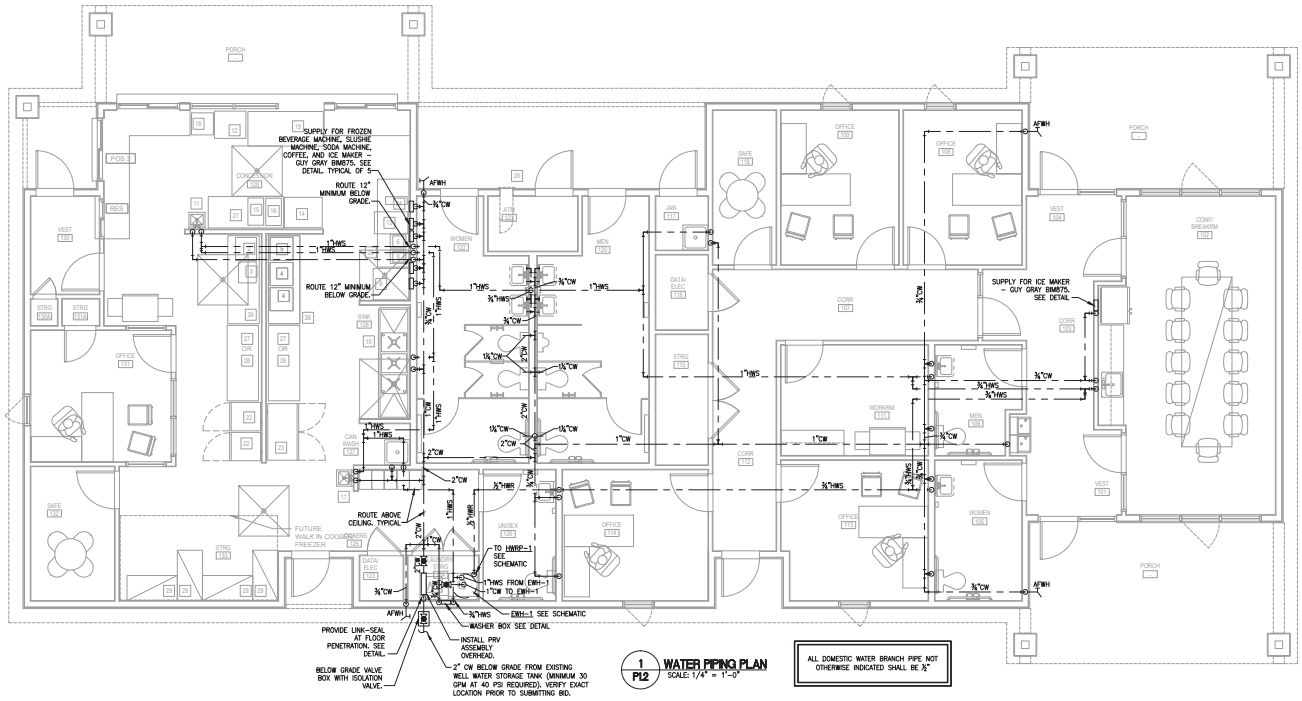


1 / P1.2 **WATER PIPING PLAN**
SCALE: 1/4" = 1'-0"

ALL DOMESTIC WATER BRANCH PIPE NOT OTHERWISE INDICATED SHALL BE ¾"

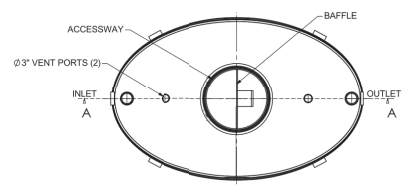
NOTES:

1. FOR GRAVITY APPLICATIONS ONLY.
2. ALL PROCEPTOR UNITS ARE MANUFACTURED WITH FIBERGLASS REINFORCED PLASTICS. PHYSICAL CHARACTERISTICS AND THICKNESS: POLYESTER RESIN AND E GLASS. MINIMUM THICKNESS 1/4" WALL AND 3/8" TOP AND BOTTOM BOWLS.
3. ALL PROCEPTOR UNITS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTION.
4. STANDARD PIPING IS SCH. 40 PVC.
5. GMC/OMC 500 - 2K30 UNITS COME STANDARD WITH 4" INLET AND OUTLET (OTHER PIPE SIZE OPTIONS AVAILABLE ON REQUEST).
6. EXTENSION COLLAR TO BE ORDERED TO MEET FINISHED GRADE, CUT ON SITE FOR FINAL ADJUSTMENT AND CAULKED WITH SIKAFLEX BY CONTRACTOR FOR WATERTIGHT SEAL.
7. COVERS AVAILABLE FOR H20 TRAFFIC LOADING, PEDESTRIAN LOADING OR ABOVE GROUND INSTALLATION.
8. CONSULT GREEN TURTLE FOR OTHER SIZES.
9. 30 YEAR WARRANTY AGAINST LEAKS, AND STRUCTURAL FAILURE.
10. U.S. PATENT #5,146,912; CDN PATENT #2,195,622

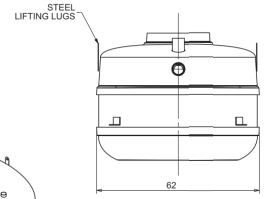
SPECIFICATIONS

PIPE SIZE: 4 INCH PVC SCH 40
INSTALLATION: BURIED
ACCESSWAY SIZE: 24 INCHES

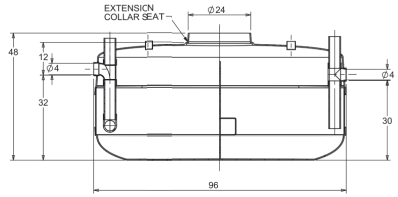
OPTIONS



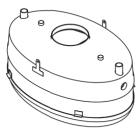
TOP VIEW



SIDE VIEW



SECTION A-A



ISOMETRIC VIEW

TOTAL WET VOLUME: 50 GAL
MAX. GREASE CAPACITY: 27.5 GAL
MAX SOLIDS CAPACITY: 87 GAL

CONSULT LOCAL AUTHORITIES FOR MINIMUM SIZE OF SEPARATORS

TITLE: PROCEPTOR® F.O.G. SEPARATOR GMC 500

ALL DIMENSIONS IN INCHES
PROJECT: WO:

NOTES:

REV.	DATE	DRAWN
1		
2		
3	JUNE 1, 2003	L.SIMKINS
4	AUGUST 14, 2004	L. SIMKINS
5	JANUARY 3, 2007	L.SIMKINS
6	NOV. 25, 2008	L.SIMKINS
7	NOV. 6, 2009	L.SIMKINS
8	MAR 15, 2011	L. SIMKINS
9	APRIL 18, 2016	
10	APRIL 04, 2017	

DRAWN BY: F.CHANDLER
DRAWN DATE 9/2/04

Proceptor® ZURN®

SIZE A | DWG. NO. GMC 500 | REV. 10
SCALE:1:30 | DO NOT SCALE DRAWING | SHEET 1 OF 1

Grease Interceptor Sizing Calculation

Form Updated February 14, 2013

City of Salisbury Engineering Department

Project Name : DAN NICHOLAS CONSESSION
Address: 6800 BRINGLE FERRY RD, SALISBURY, NC
Number: A19-174
Date: 12/2/2019

Select from Pull Down

Fixture Type	Quantity	Fixture Drain Size	Drain Rating GPM	Drain Rating Multiplier	Fixed GPM	Maximum GPM	Comments
2, 3, or 4 Compartment Pot Sink	1	1.5	15	3	0	15	
Floor Sink (for incidental equipment)	3	2	33	0	0	0	
Mop Sink or Can Wash	1	2	33	0	6	6	
Hand Sink	2	1.5	15	0	0	0	
			#N/A	#N/A	#N/A	0	
			#N/A	#N/A	#N/A	0	
			#N/A	#N/A	#N/A	0	
			#N/A	#N/A	#N/A	0	
			#N/A	#N/A	#N/A	0	
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			#N/A	#N/A	#N/A	0	
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			#N/A	#N/A	#N/A	0	
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			#N/A	#N/A	#N/A	0	
			#N/A	#N/A	#N/A	0	
			#N/A	#N/A	#N/A	0	
				Total GPM =		21	
				x Retention Time of		24	Minutes
				CALCULATED INTERCEPTOR SIZE =		504	GALLONS

MINIMUM STANDARD INTERCEPTOR SIZE = 500

Fixed GPM Ratings:

Dishwasher = 10 GPM
Mop Sink or Can Wash = 6 GPM
All other fixtures = 0 GPM

Common Commercial Kitchen Fixtures and Corresponding Multiplier:

2, 3, or 4 Compartment Pot Sink = **1.0**
Food Disposer = **1.0*** ***Separate solids interceptor requirnd**
1 or 2 Compartment Meat Preparation Sink = **0.75**
Pre-rinse Sink = **0.5**
1 or 2 Compartment Vegetable Preparation Sink = **0.25**
Bar Sink = **0.25**
Floor Drains or Floor Sink for Incedental Equipment = **0.00**
Hand Wash Sink = 0.00
Dishwasher, Mop Sink or Car Wash = **0.00**

Fixture Rating per Drain Size:

0.5 inch pipe diameter = 0.8 GPM/fixture
1.0 inch pipe diameter = 5.0 GPM/fixture
1.5 inch pipe diameter = 15 GPM/fixture
2.0 inch pipe diameter = 33 GPM/fixture
2.5 inch pipe diameter = 59 GPM/fixture
3.0 inch pipe diameter = 93 GPM/fixture

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SALISBURY, NC 28144 704.638.2015

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WATER PIPING PLAN

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY, NC

NORTH CAROLINA PROFESSIONAL SEAL ENGINEER S. E. COLLINS, III

S. E. COLLINS ENGINEERING, INC. C-2809

DRAWN BY: BCH
CHECKED BY: SEC
DATE: 1.21.20
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SHEET NUMBER
P1.2
OF: 3

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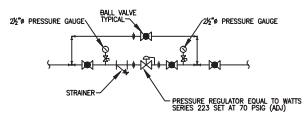
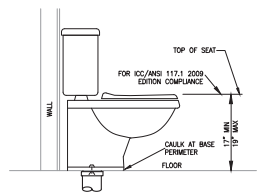
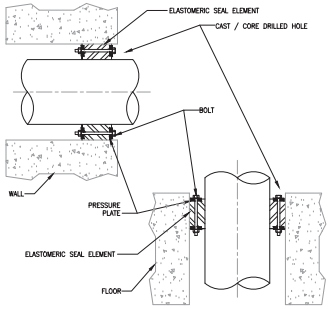


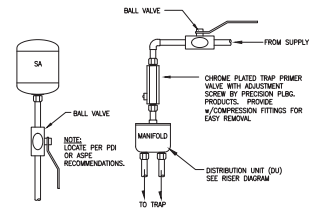
1 TYPICAL PRESSURE REGULATOR SCHEMATIC



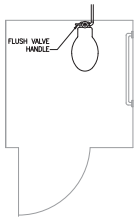
2 FLUSH TANK ADA WATER CLOSET DETAIL



3 LINK SEAL DETAIL

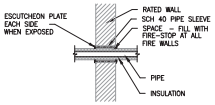


4 SHOCK ABSORBER AND TRAP PRIMER DETAIL



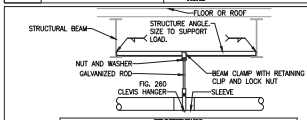
THE FLUSH CONTROLS SHALL BE LOCATED ON THE OPPOSITE SIDE OF THE NEAREST WALL AT 44" MAX ABOVE FINISHED FLOOR IN ACCORDANCE WITH ICC/ANSI 117.1 2009 EDITION.

5 FLUSH VALVE HANDLE ORIENTATION



NON-METALLIC 1-2 Hr – UL WL-2046
METALLIC UNINSULATED 2 Hr – UL WL-1033
METALLIC INSULATED 1-2 Hr – UL WL-5033

6 PIPE SLEEVE DETAIL

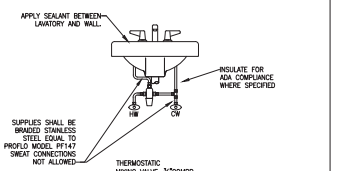


PIPE HANGER SPACING

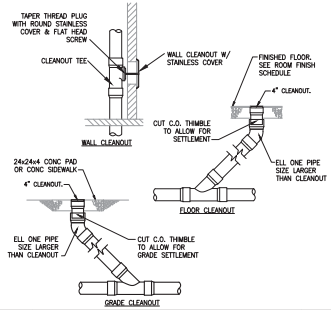
PIPE MATERIAL	MAXIMUM HORIZONTAL SPACING (FEET)	MAXIMUM VERTICAL SPACING (FEET)
ABS PIPE	4	10[b]
ALUMINUM PIPE AND TUBING	10	15
BRASS PIPE	10	10
BRASS TUBING ½" DIAMETER AND SMALLER	4	10
BRASS TUBING ¾" DIAMETER AND LARGER	10	10
CAST-IRON PIPE[a]	5	15
COPPER OR COPPER-ALLOY PIPE	12	10
COPPER OR COPPER-ALLOY TUBING ½" DIAMETER OR SMALLER	6	10
COPPER OR COPPER-ALLOY TUBING ¾" DIAMETER OR LARGER	10	10
CPVC PIPE OR TUBING 1" AND SMALLER	3	10[b]
CPVC PIPE OR TUBING 1¼" AND LARGER	4	10[b]
LEAD PIPE	CONTINUOUS	10[b]
PB PIPE OR TUBING	2⅔ (32")	4
PEX TUBING	2⅔ (32")	4
POLYPROPYLENE (PP) PIPE OR TUBING 1" OR SMALLER	2⅔ (32")	10[b]
POLYPROPYLENE (PP) PIPE OR TUBING ¾" OR LARGER	4	10[b]
PVC PIPE	4	10[b]
STEEL TUBING	8	10
STEEL PIPE	12	15

a. THE MAXIMUM HORIZONTAL SPACING OF CAST-IRON PIPE HANGERS SHALL BE INCREASED TO 10 FEET WHERE 10-FOOT LENGTHS OF PIPE ARE INSTALLED.
b. MID-STORY GUIDE.

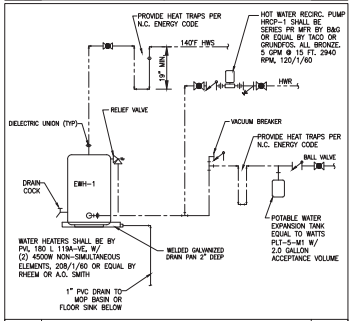
7 TYPICAL PIPE HANGER DETAIL



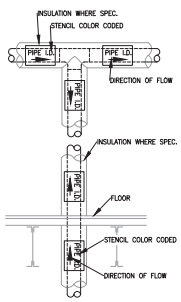
8 TYPICALWALL MOUNT LAVATORY ELEVATION



9 CLEANOUT DETAILS



10 WATER HEATER SCHEMATIC



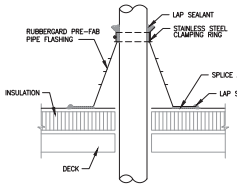
LEGEND	BACKGROUND	LETTERS
BOILER BLOWDOWN	YELLOW	BLACK
BOILER FEEDWATER	YELLOW	BLACK
CHILLED WATER	GREEN	WHITE
COMPRESSED AIR	YELLOW	BLACK
CONDENSER WATER	GREEN	WHITE
FUEL OIL	YELLOW	BLACK
HEATING HOT WATER	YELLOW	BLACK
NATURAL GAS	YELLOW	BLACK
STEAM	YELLOW	BLACK
NITROGEN	GREEN	WHITE
POTABLE WATER	GREEN	WHITE
SPRINKLER	RED	WHITE

OVERALL O.D.	MARKER SIZE	LETTER SIZE
3/4" – 1 3/8"	10	1/2"
1 1/2" – 1 7/8"	15	3/4"
2" – 3 3/8"	20	3/4"
2 1/2" – 5 7/8"	25	1 1/4"
4" – 5 7/8"	40	1 1/4"
6" – 7 7/8"	60	1 1/4"
8" – 10"	80	2 1/2"
OVER 10"	100	3 1/2"

ALL PIPING SYSTEMS WHICH ARE ACCESSIBLE FOR MAINTENANCE SHALL BE IDENTIFIED WITH PIPE MARKERS AS SPECIFIED. THESE MARKERS SHALL INCLUDE PIPE IDENTIFICATION IN LETTER SIZES AS INDICATED ABOVE, FLOW ARROWS AND BE IN CONFORMANCE WITH ANSI A.13.1-2009.

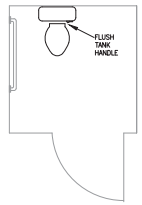
LOCATE PIPE MARKERS PER 2018 N.C. PLUMBING CODE.

11 PIPE LABELING



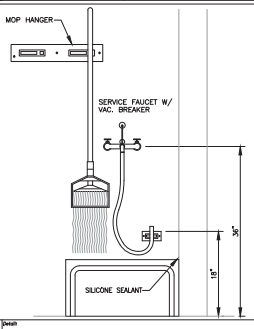
NOTES:
1. PIPE BATTEN REQUIRED WHEN THIS DETAIL IS USED ON MECHANICALLY ANCHORED SYSTEMS.
2. REMOVE ALL EXISTING FLASHING, LEADS ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE, ETC.
3. PIPE MUST BE ANCHORED TO BOTTOM SIDE OF DECK TO ASSURE STABILITY.
4. INSTALL PIPE FLASHING ACCORDING TO MANUFACTURER'S WRITTEN RECOMMENDATIONS.

12 TYPICAL VENT (VTR) DETAIL

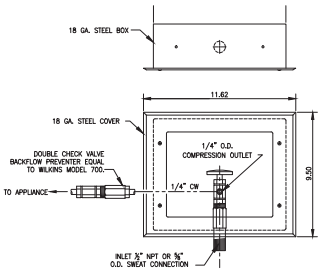


THE FLUSH CONTROLS SHALL BE LOCATED ON THE OPPOSITE SIDE OF THE NEAREST WALL AT 44" MAX ABOVE FINISHED FLOOR IN ACCORDANCE WITH ICC/ANSI 117.1 2009 EDITION.

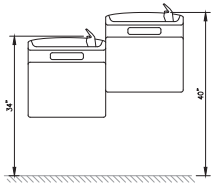
13 ADA WATER CLOSET DETAIL



14 MOP BASIN DETAIL

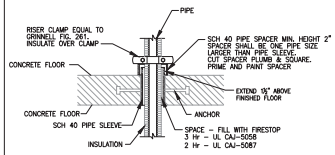


15 RECESSED COLD WATER CONNECTION

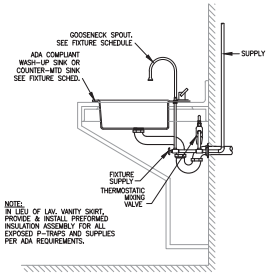


EWC SHALL BE WALL HUNG, BARRIER-FREE SPLIT-LEVEL DUPLEX MOUNTED FOR ICC/ANSI 117.1 2009 EDITION COMPLIANCE.

16 WATER COOLER ELEVATION

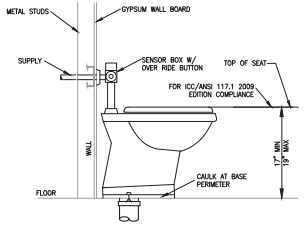


17 PIPE SLEEVE DETAIL



NOTE:
IN LIEU OF LAV. VANITY SKIRT, PROVIDE & INSTALL PREFORMED INSULATION ASSEMBLY FOR ALL EXPOSED P-TRAPS AND SUPPLIES PER ADA REQUIREMENTS.

18 SINK COUNTER DETAIL



PC SHALL PROVIDE AND INSTALL TRANSFORMER AND LOW VOLTAGE WIRING IN RIGID CONDUIT IN WALL FROM 120V POWER SUPPLY TO CONTROL VALVE FOR ALL SENSOR OPERATED FIXTURES.

19 FLOOR MOUNTED ADA WATER CLOSET

the BOGLE FIRM ARCHITECTURE
110 N. MAIN ST pete@boglefirm.com
SUITE 200 www.boglefirm.com
SALISBURY, NC 28144 704.638.2015

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S. E. COLLINS CONSULTING ENGINEERS
1817 E. Innes St., Suite 201
Salisbury, NC 28146
E-mail: scollins@scollinseng.com
Tel: (704) 638-6337
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PLUMBING DETAILS

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY, NC

NORTH CAROLINA PROFESSIONAL SEAL ENGINEER S. E. COLLINS, III

S. E. COLLINS CONSULTING ENGINEERS, INC. C-2809

DRAWN BY: BCH
CHECKED BY: SEC
DATE: 1.21.20
PROJECT #: 1903

SHEET NUMBER P2.1
OF: 3

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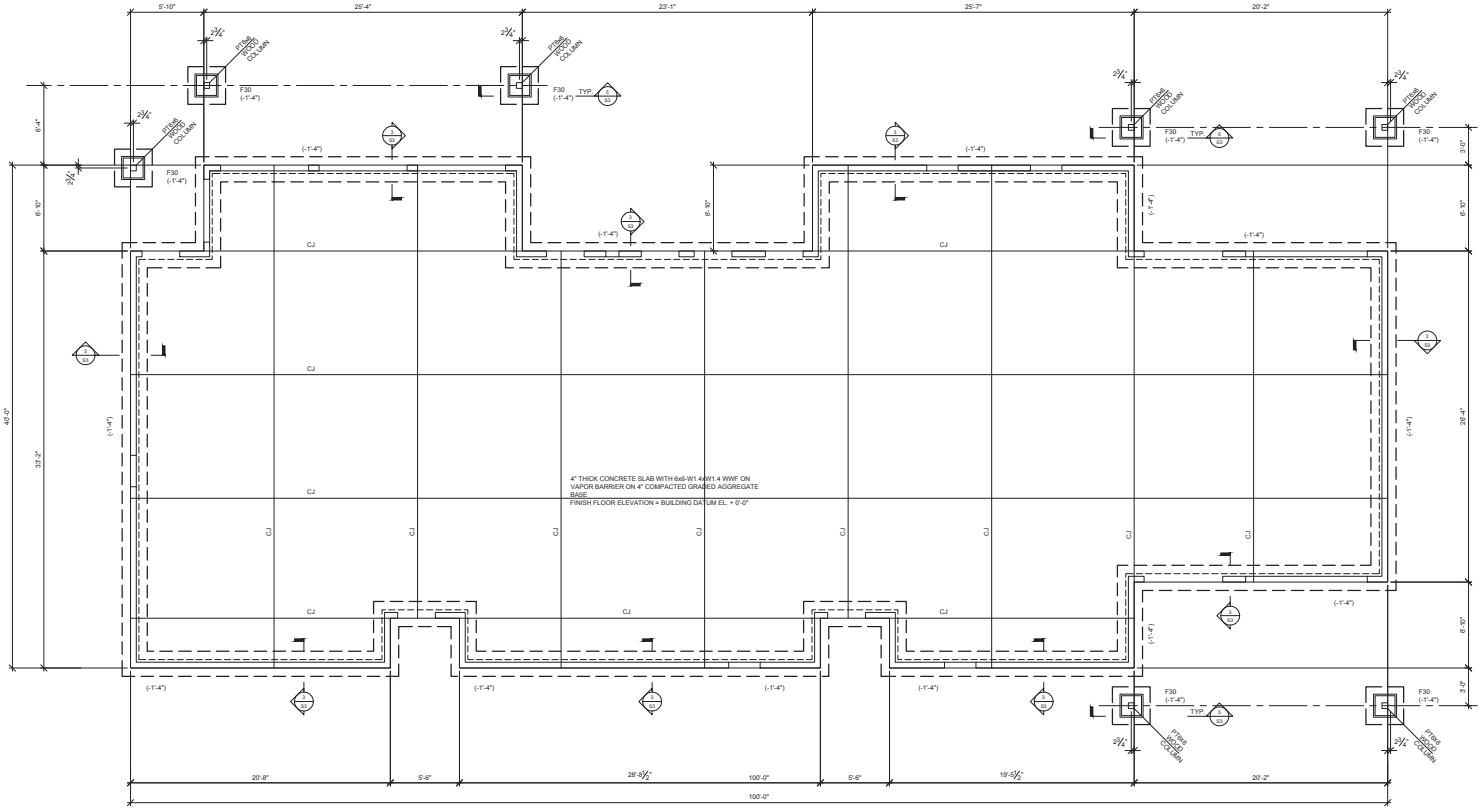

1 FOUNDATION PLAN
S1 SCALE: 1/4"=1'-0"

FOUNDATION PLAN NOTES:

1. SEE SHEET S3 FOR GENERAL NOTES.
2. SEE ARCHITECTURAL DRAWINGS FOR PLAN DIMENSIONS OF ALL WALLS AND WALL OPENINGS.
3. TOP OF FOOTING ELEVATION = (-1'-4") BELOW FINISH FLOOR UNLESS NOTED OTHERWISE.

EXTERIOR SHEATHING NOTES:

1. WALL SHEATHING SHALL BE 7/16" ORIENTATED STRAND BOARD (OSB). SHEATHING SHALL BE FASTENED WITH 8d NAILS @ 6" O.C. AT PANEL EDGES AND @ 12" O.C. TO FRAMING AT PANEL INTERIOR. PROVIDE CONTINUOUS 2x BLOCKING AT ALL HORIZONTAL PANEL JOINTS.
2. ALL NAILS FOR SHEAR WALL SHEATHING SHALL BE COMMON NAILS.

FOUNDATION PLAN LEGEND:

F30	INDICATES FOOTING TYPE - SEE SCHEDULE THIS SHEET
(-X'-X")	INDICATES TOP OF FOOTING ELEVATION BELOW FINISH FLOOR EL + 0'-0"
CJ	INDICATES CONTRACTION JOINT OR CONSTRUCTION JOINT IN SLAB ON GRADE - SEE DETAILS 1/S3 AND 2/S3.
HTT4	INDICATES SIMPSON HTT4 HOLD DOWN - SEE DETAIL 8/S3.

FOOTING SCHEDULE (2500 PSF)

FOOTING TYPE	FOOTING SIZE	REINFORCING
F30	3'-0" x 3'-0" x 12" THICK	4 #5 x 2'-6" EACH WAY BOTTOM

the BOGLE FIRM
ARCHITECTURE
100 N. MAIN ST pete@boglefirm.com
SUITE 200 www.boglefirm.com
SALISBURY, NC 28144 704.638.2015

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RITCHIE ENGINEERING, P.C.
3023 MARKSBORTH AVE.
CHARLOTTE, NC 28210
704 331 3313
pritchie@ritchieeng.com

NOT FOR CONSTRUCTION
1/6/20

FOUNDATION PLAN

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY NC

DRAWN BY: PFR
CHECKED BY: PFR
DATE: JAN. 2020
PROJECT #: .

SHEET NUMBER
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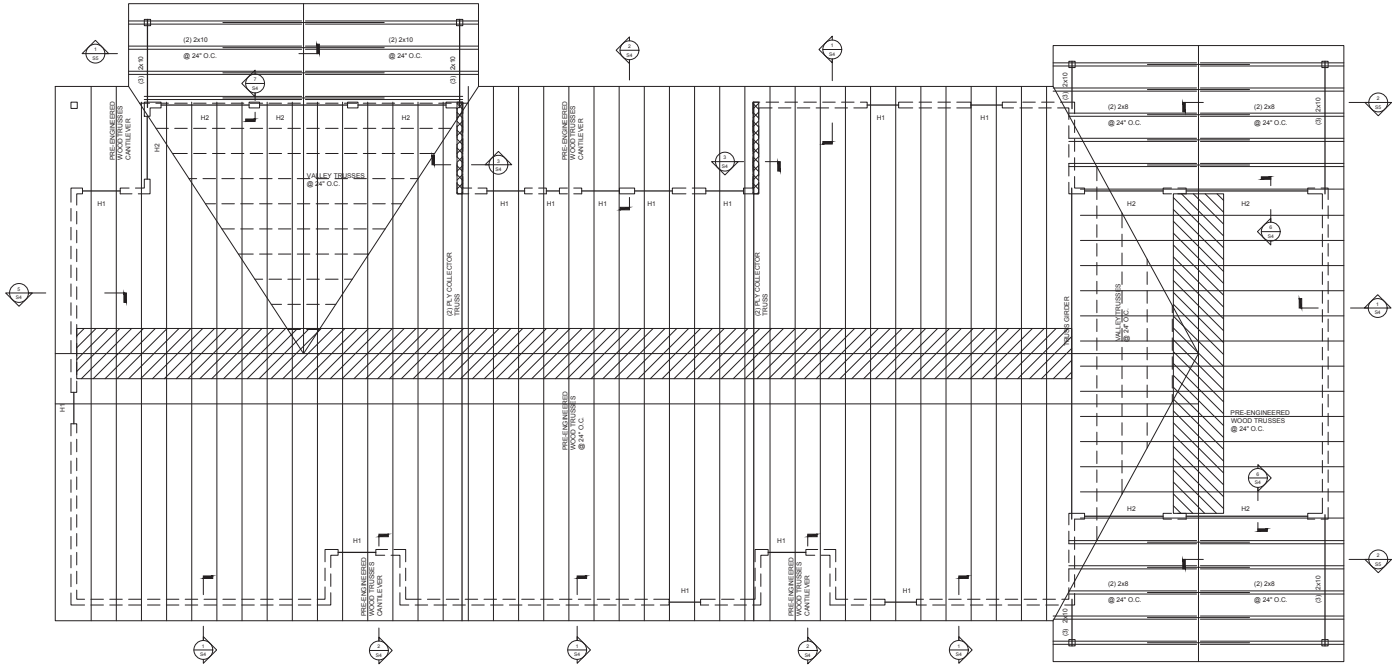
OF: 5



1 ROOF FRAMING PLAN
S2 SCALE: 1/4"=1'-0"

FRAMING PLAN LEGEND:

H1 INDICATES HEADER B TYPE BELOW FLOOR LEVEL. SEE SCHEDULE THIS SHEET.

INDICATES MECHANICAL PLATFORM ON TRUSS BOTTOM CHORD WITH 3/4" T&G PLYWOOD FLOOR DECKING FASTENED TO TRUSSES WITH 10d NAILS @ 6" O.C. AT PANEL EDGES AND 12' O.C. AT PANEL INTERIOR
PLATFORM DESIGN LIVE LOAD = 30 PSF

INDICATES LOCATIONS WHERE EXTERIOR WALL SHEATHING EXTENDS TO UNDERSIDE OF ROOF DECK - DO NOT SPLICE SHEATHING PANEL AT TOP WALL PLATES. SEE SECTION 3/S4.

ROOF FRAMING PLAN NOTES:

1. SEE SHEET S3 FOR GENERAL NOTES.
2. SEE ARCHITECTURAL DRAWINGS FOR PLAN DIMENSIONS OF ALL WALLS AND WALL OPENINGS
3. SEE ARCHITECTURAL DRAWINGS FOR ROOF SLOPES AND TRUSS DIMENSIONS AT EAVE CONDITIONS.
4. ROOF TRUSSES ARE PRE-ENGINEERED WOOD TRUSSES SPACED @ 24" O.C. MAXIMUM. LIVE LOAD DEFLECTION < L/360.
5. TRUSS MANUFACTURER SHALL PROVIDE ALL TRUSS TO TRUSS HANGER CONNECTORS.
6. ROOF TRUSS BEARING ELEVATION ON PERIMETER WOOD STUD WALLS = +10'- 1 1/2" UNLESS NOTED OTHERWISE.
7. ROOF DECK IS 5/8" APA RATED SHEATHING FASTEN TO SUPPORTS WITH 10d NAILS @ 6" O.C. AT PANEL EDGES AND @ 12" O.C. AT PANEL INTERIOR.
8. SEE HEADER SCHEDULE THIS SHEET FOR JACK STUDS AND KING STUDS AT HEADER BEARING POINTS.

HEADER SCHEDULE

HEADER TYPE	MEMBERS	JACK STUDS	KING STUDS
H1	(3) 2x8	(1) 2x6	(1) 2x6
H2	(2) 2x10	(1) 2x6	(2) 2x6

HEADER SCHEDULE NOTES:

1. PROVIDE CONTINUOUS PLYWOOD OR LUMBER BETWEEN PLIES TO MATCH WALL THICKNESS FOR ALL HEADERS.
2. FASTEN HEADERS WITH (2) ROWS OF 16d NAILS @ 12" O.C. EACH PLY.
3. FASTEN JACK AND KING STUDS WITH 16d NAILS @ 12" O.C. EACH PLY.

the BOGLE FIRM
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SALISBURY, NC 28144 704.638.2015

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RITCHIE ENGINEERING, P.C.
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704 331 3313
pritchie@ritchieeng.com

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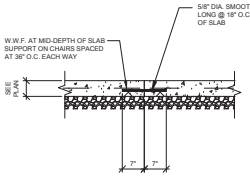
1/6/20

GENERAL NOTES AND FOUNDATION DETAILS

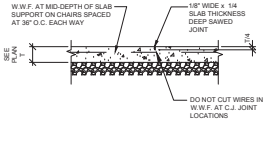
DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY NC

DRAWN BY: PFR
CHECKED BY: PFR
DATE: JAN. 2020
PROJECT #: .

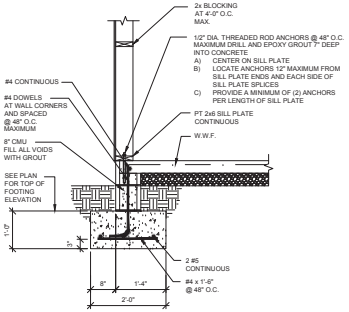
SHEET NUMBER
S2
OF: 5



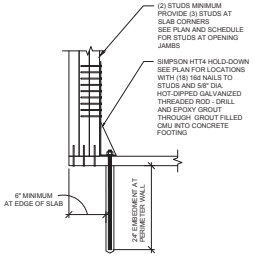
1 S3 SLAB ON GRADE CONSTRUCTION JOINT DETAIL
SCALE: 3/4"=1'-0"



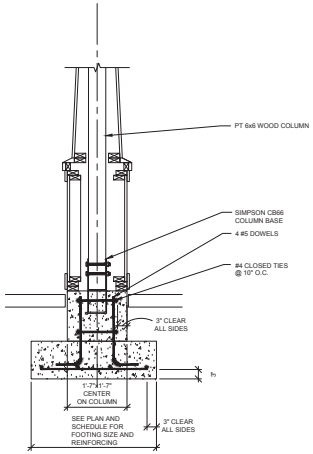
2 S3 SLAB ON GRADE CONTRACTION JOINT DETAIL
SCALE: 3/4"=1'-0"



3 S3 SLAB EDGE DETAIL
SCALE: 3/4"=1'-0"



4 S3 HOLD DOWN DETAIL
SCALE: 1 1/2"=1'-0"



5 S3 PORCH COLUMN AND FOOTING DETAIL
SCALE: 3/4"=1'-0"

GENERAL NOTES

1. THESE STRUCTURAL DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2012 NC STATE BUILDING CODE

2. ROOF DESIGN LOADS:

DEAD LOADS:		DESIGN LIVE LOADS	
ROOF	10 PSF	ROOF (BASIC)	20 PSF
		SNOW LOAD	Pg = 15 PSF Is = 1.0 Ct = 1.0 Pf = 11 PSF
FLOOR	50 PSF	FLOOR	100 PSF

3. WIND LOAD 90 MPH EXPOSURE B
IMPORTANCE FACTOR 1.0
INTERNAL PRESSURE .18
WIND BASE SHEAR VX=15k VY=12k

4. SEISMIC LOAD SEISMIC IMPORTANCE FACTOR 1.0
OCCUPANCY CATEGORY 2
MAPPED SPECTRAL RESPONSE ACCELERATIONS Ss = 0.262
S1 = 0.095
SITE CLASS D
SPECTRAL RESPONSE COEFFICIENTS FROM SITE SPECIFIC ANALYSIS Sds = 0.277
Sd1 = 0.151
SEISMIC DESIGN CATEGORY C
BASIC SEISMIC FORCE RESISTING SYSTEM:
WOOD SHEARWALLS
SEISMIC RESPONSE COEFFICIENT Cs 0.043
RESPONSE MODIFICATION FACTOR R 6.5
ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE
BUILDING DESIGN BASE SHEAR 6k

5. SITE PREPARATION AND ENGINEERED FILL PLACEMENT AND COMPACTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING EVALUATION BY CESI PROJECT NUMBER 190597.000 DATED 12/20/2019.

6. SITE PREPARATION AND ENGINEERED FILL PLACEMENT AND COMPACTION SHALL BE PERFORMED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA. ADEQUACY OF EXISTING SUBGRADE TO SUPPORT NEW FILL. FILL MATERIAL SPECIFICATION, COMPACTION REQUIREMENTS AND EXTENT OF COMPACTION TESTING SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.

7. IF, AFTER EXCAVATION, THE CONDITION OF THE SOIL INDICATES A SAFE BEARING CAPACITY OF LESS THAN 2,500 PSF THE STRUCTURAL ENGINEER OF RECORD SHALL BE NOTIFIED AND THE FOOTINGS REVISED IF NECESSARY.

8. ALL CONCRETE SHALL BE STANDARD WEIGHT 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. MAXIMUM SLUMP SHALL BE 5".

9. CONCRETE WORK SHALL CONFORM TO ACI 318 (REINF. CONCRETE) AND/OR 318.1 (PLAIN CONCRETE).

10. REINFORCING BARS SHALL CONFORM WITH ASTM A 615. ALL BARS SHALL BE GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND ASTM A185. REBAR SUPPORT DEVICES SHALL CONFORM TO THE CRSI MANUAL OF STANDARD PRACTICE. PROVIDE CORNER BARS FOR ALL CONTINUOUS BARS AT BUILDING CORNERS LAP 48 BAR DIA. EACH END. LAP WELDED WIRE FABRIC ONE SQUARE + 2" AT ALL SHEET EDGES.

11. ALL WOOD FRAMING AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NC STATE BUILDING CODE.

12. TIMBER SHALL BE VISUALLY GRADED DIMENSIONED LUMBER CONFORMING TO THE GRADING RULES OF THE APPLICABLE AGENCY.

STRUCTURAL MEMBER	LUMBER GRADE
WALL STUDS	STUD GRADE SPF
BEAMS	NO. 2 SOUTHERN PINE
LAMINATED VENEER LUMBER (LVL)	MICRO LAM 1.9E AS MANUFACTURED BY WEYERHAEUSER

ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

13. WALL STUDS SHALL BE 2x6 @ 16" O.C. EXCEPT AS INDICATED OTHERWISE.

14. ALL FASTENERS EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER INCLUDING ANCHOR BOLTS, WASHERS, SIMPSON CONNECTORS, BOLTS AND NAILS SHALL BE HOT DIPPED GALVANIZED. ALL NAIL SIZES AND QUANTITIES INDICATED ARE FOR COMMON NAILS.

15. ALL SIMPSON CONNECTORS SHALL BE INSTALLED WITH TOTAL NUMBER AND SIZE OF FASTENERS TO DEVELOP FULL CAPACITY OF CONNECTOR IN ACCORDANCE WITH SIMPSON'S INSTALLATION INSTRUCTIONS.

16. EPOXY GROUT SHALL BE HILTI HY200 OR EQUAL INSTALLED IN ACCORDANCE WITH GROUT MANUFACTURER'S WRITTEN INSTRUCTIONS.

17. PREFABRICATED WOOD TRUSSES CONNECTED WITH LIGHT GAGE METALS PLATES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TRUSS PLATE INSTITUTE. SHOP DRAWINGS SHALL BE SUBMITTED AND SHALL INCLUDE AN ERECTION PLAN AND CALCULATIONS FOR EACH TRUSS DESIGN AND SHALL INDICATE THE DESIGN LOADS, SPACING, AND LATERAL BRACING REQUIREMENTS. THE SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA.

ROOF TRUSS		
	TOP CHORD DEAD LOAD	10 PSF
	TOP CHORD LIVE LOAD	20
	BOTTOM CHORD DEAD LOAD	10
	TOTAL LOAD	40 PSF

WIND LOAD: ASCE7-10
SNOW DRIFT LOAD: ASCE7-10

18. EXTERIOR WALL SHEATHING SHALL BE 7/16" MINIMUM OSB NAILED TO STUDS AT PANEL EDGES AND TOP AND BOTTOM WALL PLATES WITH 8d NAILS @ 6" O.C. AND @ 12" O.C. @ PANEL INTERIOR U.N.O. PROVIDE 2x6 BLOCKING AT ALL HORIZONTAL PANEL JOINTS.

19. ROOF SHEATHING SHALL BE 5/8" EXTERIOR EXPOSURE 1 PLYWOOD. INSTALL PANELS WITH LONG EDGE PERPENDICULAR TO TRUSSES. STAGGER END JOINTS 4'-0". FASTEN TO TRUSSES WITH 10d NAILS @ 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT PANEL INTERIOR.

the BOGLE FIRM
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RITCHIE ENGINEERING, P.C.
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704 331 3313
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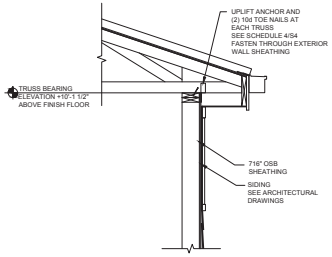
NOT FOR CONSTRUCTION
1/6/20

GENERAL NOTES AND FOUNDATION DETAILS

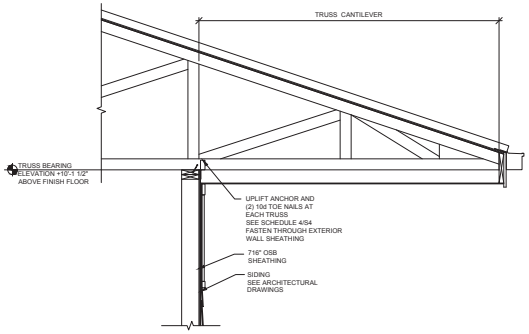
DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY NC

DRAWN BY: PFR
CHECKED BY: PFR
DATE: JAN. 2020
PROJECT #: .

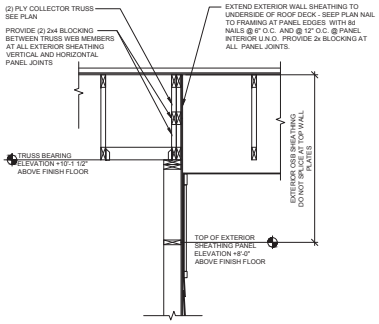
SHEET NUMBER
S3
OF: 5



1 S4 **TRUSS BEARING DETAIL AT EXTERIOR WALL**
SCALE: 3/4"=1'-0"



2 S4 **TRUSS BEARING DETAIL AT CANTILEVER**
SCALE: 3/4"=1'-0"



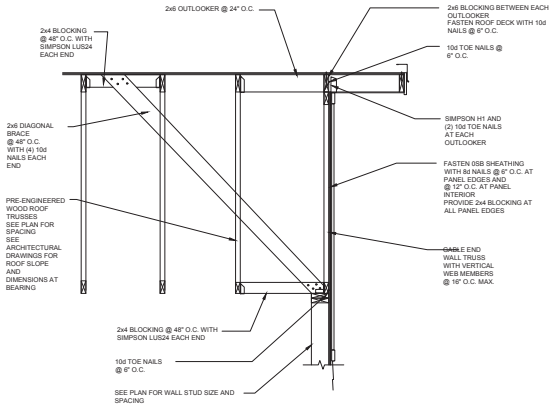
3 S4 **TRUSS BEARING DETAIL AT COLLECTOR TRUSS**
SCALE: 3/4"=1'-0"

ROOF TRUSS UPLIFT ANCHORAGE SCHEDULE	
MAXIMUM WIND UPLIFT FORCE	SIMPSON ANCHOR
SINGLE PLY TRUSS	
535 LB	H2.5A
1015 LB	H10A
1050 LB	H14
2 PLY TRUSS GIRDER	
715 LB	H10-2
1850 LB	LGT2
3 PLY TRUSS GIRDER	
2365 LB	LGT3-SDS2.5

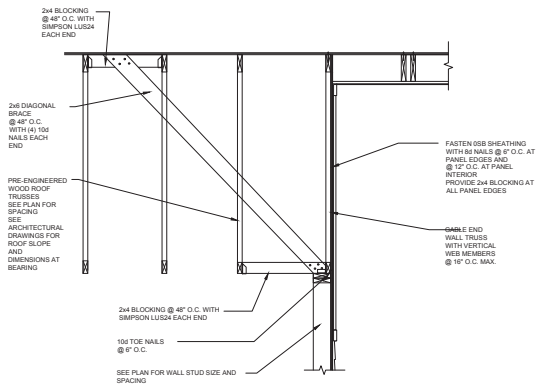
NOTES:

1. SEE TRUSS SHOP DRAWINGS FOR UPLIFT REACTION AT EACH TRUSS.
2. PROVIDE UPLIFT ANCHOR FROM TABLE ABOVE TO MEET OR EXCEED TRUSS UPLIFT REACTION.

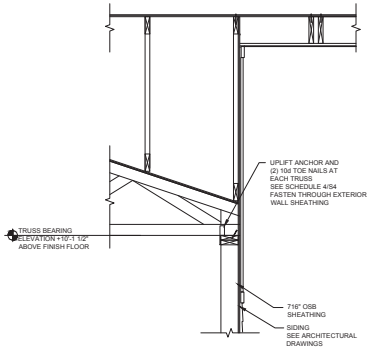
4 S4 **UPLIFT ANCHOR SCHEDULE**
SCALE: 3/4"=1'-0"



5 S4 **GABLE END WALL SECTION**
SCALE: 3/4"=1'-0"



6 S4 **GABLE END WALL SECTION AR PORCH**
SCALE: 3/4"=1'-0"



7 S4 **GABLE END WALL SECTION AR PORCH**
SCALE: 3/4"=1'-0"

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NOT FOR CONSTRUCTION
1/6/20

FRAMING DETAILS

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY NC

DRAWN BY: PFR
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DATE: JAN. 2020
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S4
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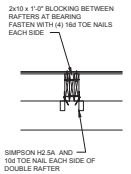
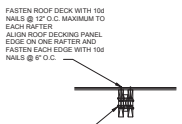
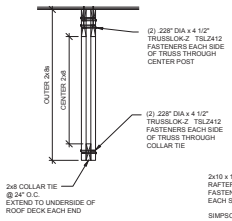


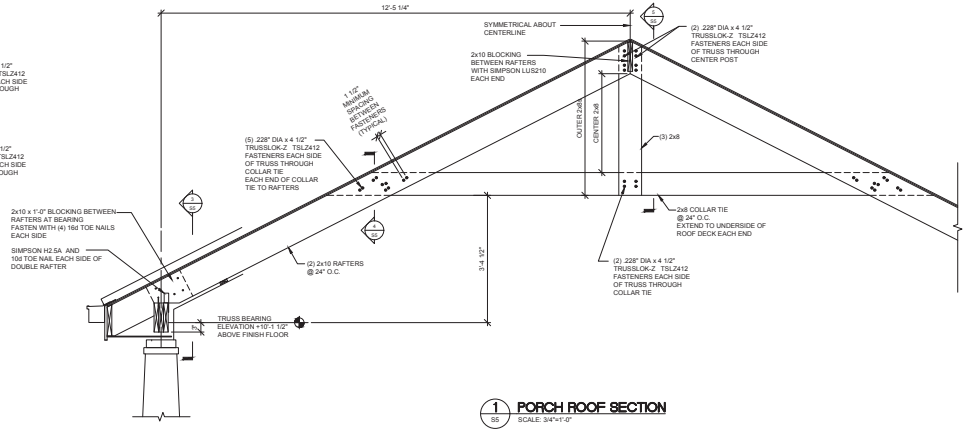
3 SS **DOUBLE RAFTER DETAIL AT BEARING**
SCALE: 3/4"=1'-0"



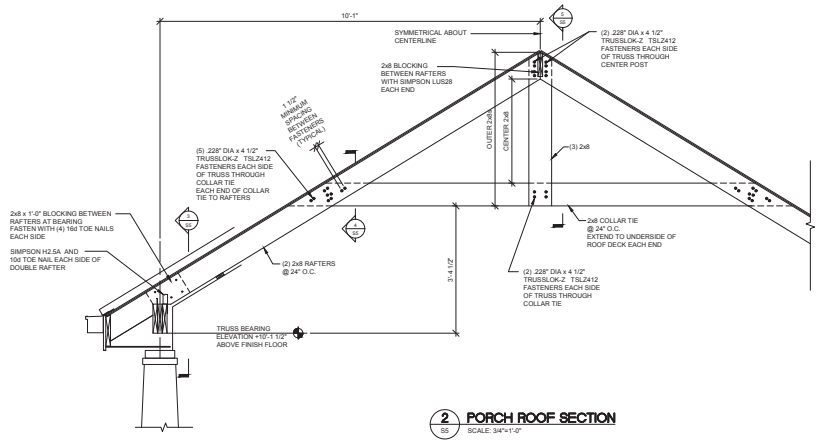
4 SS **DOUBLE RAFTER DETAIL AT COLLAR TIE**
SCALE: 3/4"=1'-0"



5 SS **DOUBLE RAFTER DETAIL AT RIDGE**
SCALE: 3/4"=1'-0"



1 SS **PORCH ROOF SECTION**
SCALE: 3/4"=1'-0"



2 SS **PORCH ROOF SECTION**
SCALE: 3/4"=1'-0"

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FRAMING DETAILS

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY ROAD
SALISBURY NC

DRAWN BY: PFR
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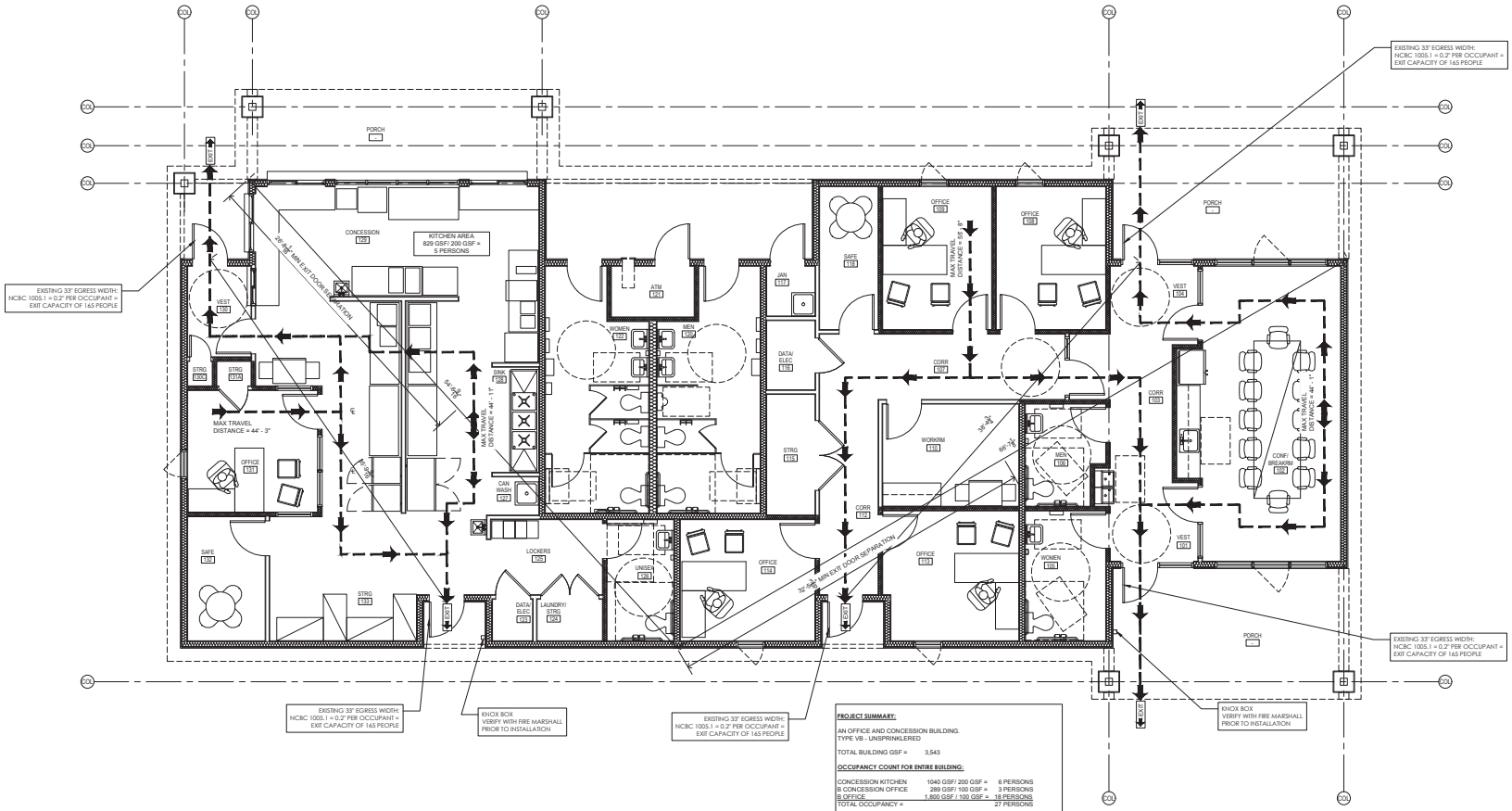
PROJECT #: .

SHEET NUMBER
S5
OF: 5



PROJECT SUMMARY:

AN OFFICE AND CONCESSION BUILDING.
TYPE VB - UNSPRINKLERED

TOTAL BUILDING GSF = 3,543

OCCUPANCY COUNT FOR ENTIRE BUILDING:

CONCESSION KITCHEN	1040 GSF/ 200 GSF =	6 PERSONS
B CONCESSION OFFICE	289 GSF/ 100 GSF =	3 PERSONS
B OFFICE	1,800 GSF / 100 GSF =	18 PERSONS
TOTAL OCCUPANCY =		27 PERSONS

MAX ALLOWABLE TRAVEL DISTANCE = 200' (B, NON-SPRINKLERED)
MAX TRAVEL DISTANCE SHOWN = 55' - 8" FROM OFFICE 119

CS2-01 LIFE SAFETY PLAN

SCALE: 1/4" = 1' - 0"

PLAN NORTH

the BOGLE FIRM
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SALISBURY, NC 28144 704.638.2015

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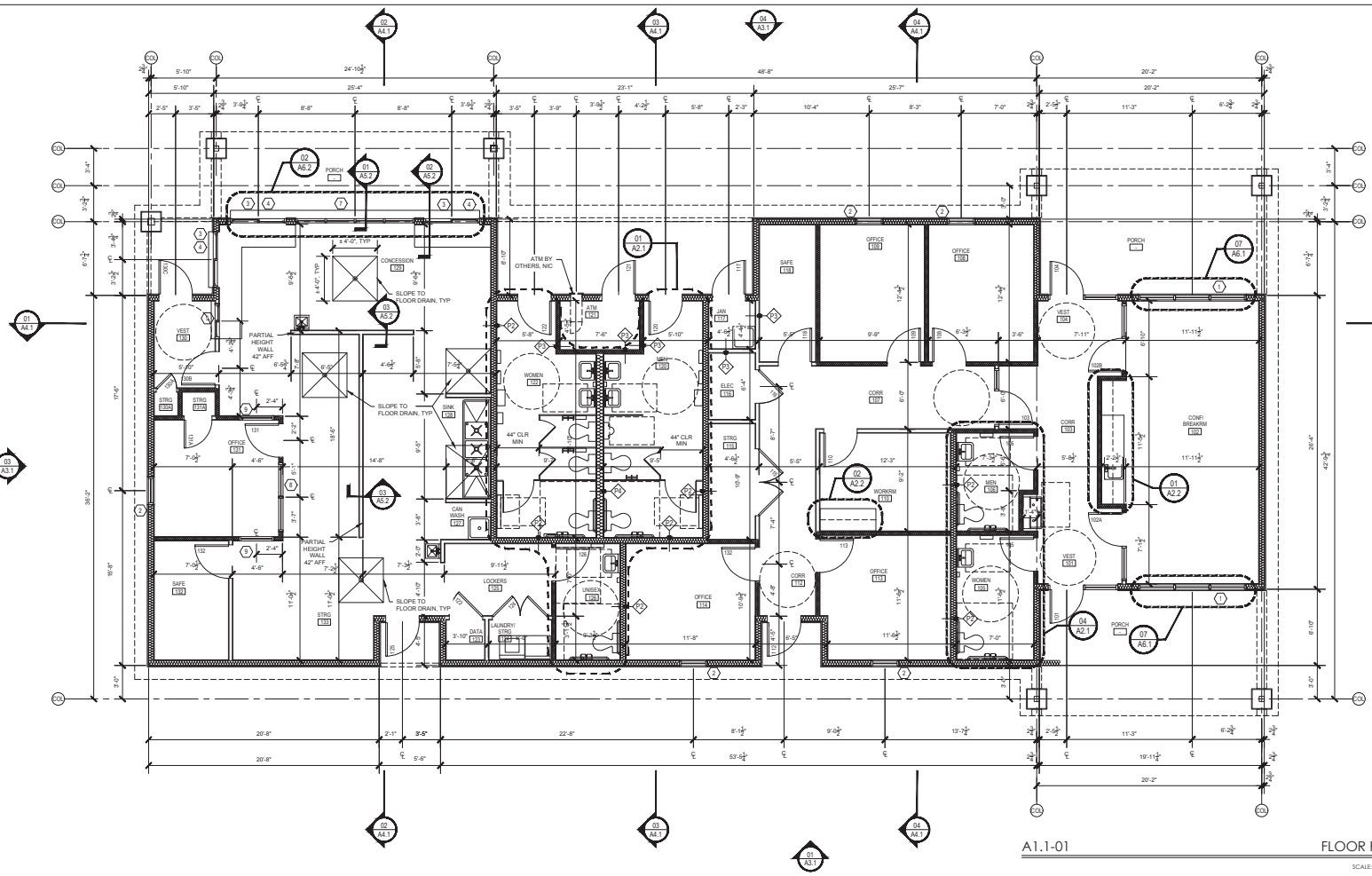
LIFE SAFETY PLAN

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

DRAWN BY: EKT
CHECKED BY: DRB
DATE: 01.23.20
PROJECT #: 1903

SHEET NUMBER
CS2
OF: .

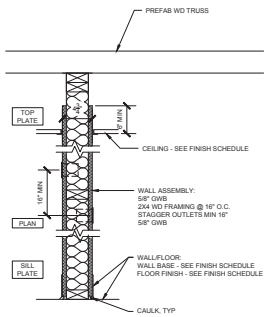


A1.1-01 FLOOR PLAN

SCALE: 1/4" = 1'-0"

N PLAN

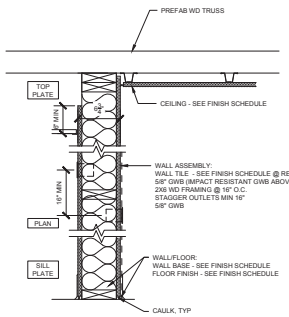
TYP WALL TYPES



P1

NOTES:

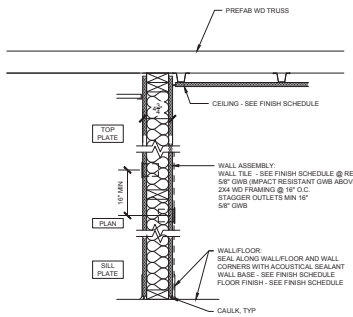
1. TYPICAL PARTITION
2. MR GWB AT WET AREAS, TYP
3. IMPACT RESISTANT GWB AT MEN 120 AND WOMEN 122 ONLY.
4. SEAL ALONG WALL/FLOOR AND WALL CORNERS WITH ACOUSTICAL SEALANT AT ALL OFFICES AND CONFERENCE RMS.



P2

NOTES:

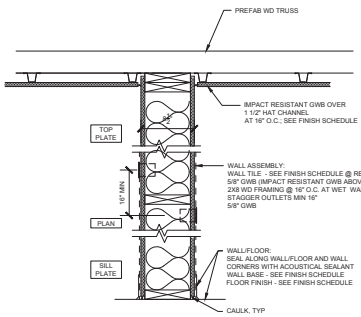
1. MR GWB AT WET AREAS, TYP
2. IMPACT RESISTANT GWB AT MEN 120 AND WOMEN 122 ONLY
3. SEAL ALONG WALL/FLOOR AND WALL CORNERS WITH ACOUSTICAL SEALANT AT ALL OFFICES AND CONFERENCE RMS.
4. GLASS FIBER SOUND BATT AS INDICATED ON PLAN



P3

NOTES:

1. MR GWB AT WET AREAS, TYP
2. IMPACT RESISTANT GWB AT MEN 120 AND WOMEN 122 ONLY
3. GLASS FIBER SOUND BATT AS INDICATED ON PLAN



P4

NOTES:

1. MR GWB AT WET AREAS, TYP
2. IMPACT RESISTANT GWB AT MEN 120 AND WOMEN 122 ONLY
3. GLASS FIBER SOUND BATT AS INDICATED ON PLAN

GENERAL NOTES

1. ALL DIMENSIONS ARE FROM FACE OF FRAMING OR CENTER OF OPENING UNLESS NOTED OTHERWISE.
2. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. PARTITION TYPE "P1" IS TYPICAL THROUGHOUT PROJECT, UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO PROVIDE ALL FINISH SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
5. CONTRACTOR TO PROVIDE ALL SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
6. CONTRACTOR TO COORDINATE WORK WHERE REQUIRED WITH OWNER'S VENDORS.
7. CONTRACTOR TO VERIFY ALL MECHANICAL AND ELECTRICAL EQUIPMENT MEETS REQUIRED CLEARANCE AND ACCESS.

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FLOOR PLAN
WALL TYPES

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

DRAWN BY: EKT
CHECKED BY: DRB
DATE: 01.23.20
PROJECT #: 1903

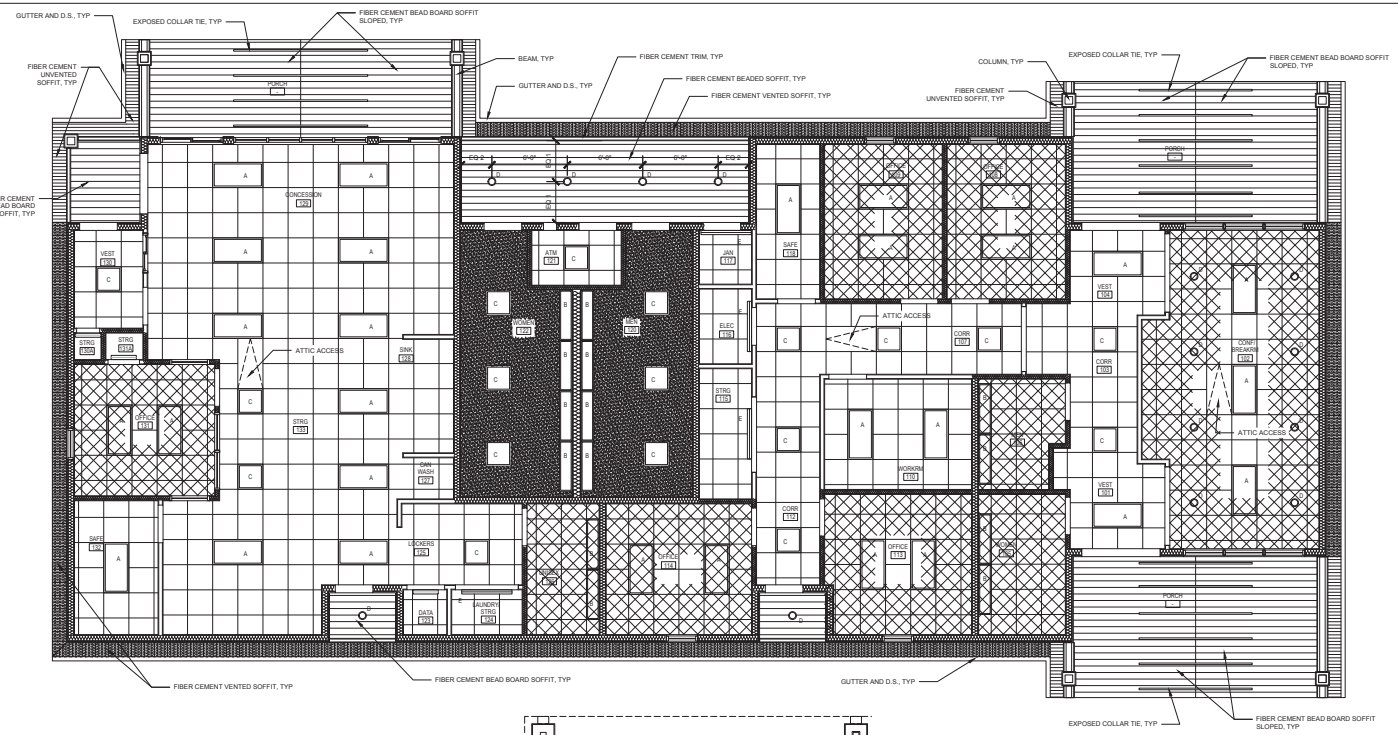
SHEET NUMBER
A1.1
OF: 15

RCP LEGEND

- 2X2 ACT CEILING
- GWB SOFFIT
- NO CEILING STRUCTURE EXPOSED
- SOUND BATT ABOVE ACT 4' MIN AT PERIMETER

LIGHT FIXTURE LEGEND

- A — 2X4 LED FIXTURE
- B — 1X4 LED FIXTURE
- C — 2X2 LED FIXTURE
- D — LED FIXTURE
- E — STRIP LED FIXTURE

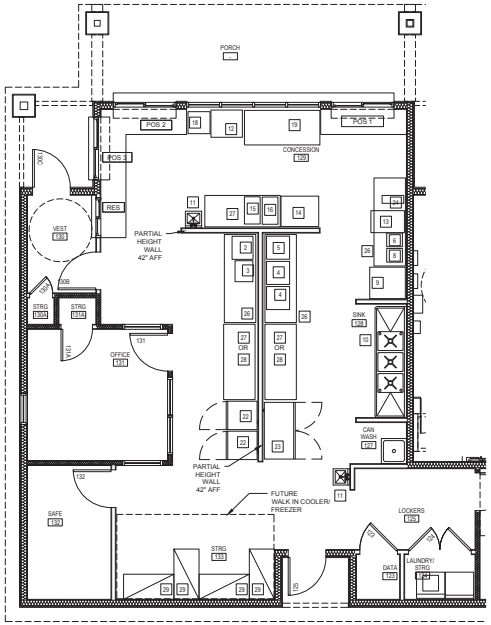


A1.2-01 RCP

SCALE: 1/4" = 1'-0"

EQUIPMENT LEGEND
EQUIPMENT PROVIDED BY OWNER U.N.O.

	DESCRIPTION	NOTES
1	POS	BY OWNER
2	TOASTER OVEN	BY OWNER
3	MICROWAVE	BY OWNER
4	OVEN	BY OWNER NEMBO 6210
5	PIZZA WARMER	BY OWNER GOLD MEDAL 5550PZ
6	SLUSHIE MACHINE	BY OWNER
7	CHEERWINE BAG RACK	BY OWNER
8	SODA MACHINE	BY OWNER
9	ICE MAKER	BY OWNER
10	3 COMPT SINK	SEE PLUMB
11	HAND SINK	SEE PLUMB
12	DIPPING DOTS	BY OWNER
13	FROZEN DRINK DISPENSER	BY OWNER FBD-563
14	POPCORN	BY OWNER POP-O-GOLD 2011-071
15	CHIP WARMER	BY OWNER
16	NACHO CHEESE	BY OWNER GOLD MEDAL 5300
17	DRINK COOLER	BY OWNER
18	FROZEN BANANA	BY OWNER
19	ICE CREAM FREEZER	BY OWNER
20	ATM	BY OWNER'S VENDOR
21	FREEZER	BY OWNER
22	REACH IN FREEZER	BY OWNER
23	REACH IN REFRIG	BY OWNER TRUE GMD-26-HC-TSL01
24	COFFEE	BY OWNER
25	TELEPHONE	BY OWNER
26	EQUIPMENT STAND	REGENCY 600ES3084G
27	EQUIPMENT STAND	REGENCY 600ES3072G
28	WORK TABLE	REGENCY 600T3072G
29	SHELVING	METRO 5A556EC
30	TBD	
31	TBD	
32	TBD	



A1.2-02 KITCHEN EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"

RCP / ELEC GENERAL NOTES

1. REFER TO STANDARD MOUNTING HEIGHTS FOR SWITCHES AND OUTLETS.
2. WHEREVER POSSIBLE, CENTER ALL EQUIPMENT ON ADJACENT ARCHITECTURAL FEATURES.
3. RCP ARE FOR REFERENCE AND PLACEMENT ONLY. SEE ELECTRICAL DRAWINGS FOR FIXTURE COUNT AND SWITCHING.
4. SEE EXT ELEVATION FOR EXTERIOR LIGHTING.
5. ALL CEILINGS TO BE 10'-0" AFF, UNLESS OTHERWISE NOTED IN FINISH SCHEDULE.
6. CONTRACTOR TO FIELD COORDINATE ALL OUTLET / SWITCH LOCATIONS PRIOR TO ROUGH IN.

the BOGLE FIRM ARCHITECTURE
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RCP
KITCHEN EQUIP
PLAN

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

DRAWN BY: EKT
CHECKED BY: DRB
DATE: 01.23.20
PROJECT #: 1903

SHEET NUMBER
A1.2
OF: 15

ROOF GENERAL NOTES

1. ALL ROOF PENETRATIONS WILL BE PROPERLY FLASHED.
2. ALL ROOF VENTS TO BE PREFINISHED METAL TO MATCH ROOF COLOR.
3. UNVENTED ROOF AT ALL "PORCH" LOCATIONS
4. ROOF BASE BID: STANDING SEAM MTL ROOF
   -OR-
   ROOF ALT #1: ASPHALT SHINGLE ROOF

the BOGLE FIRM
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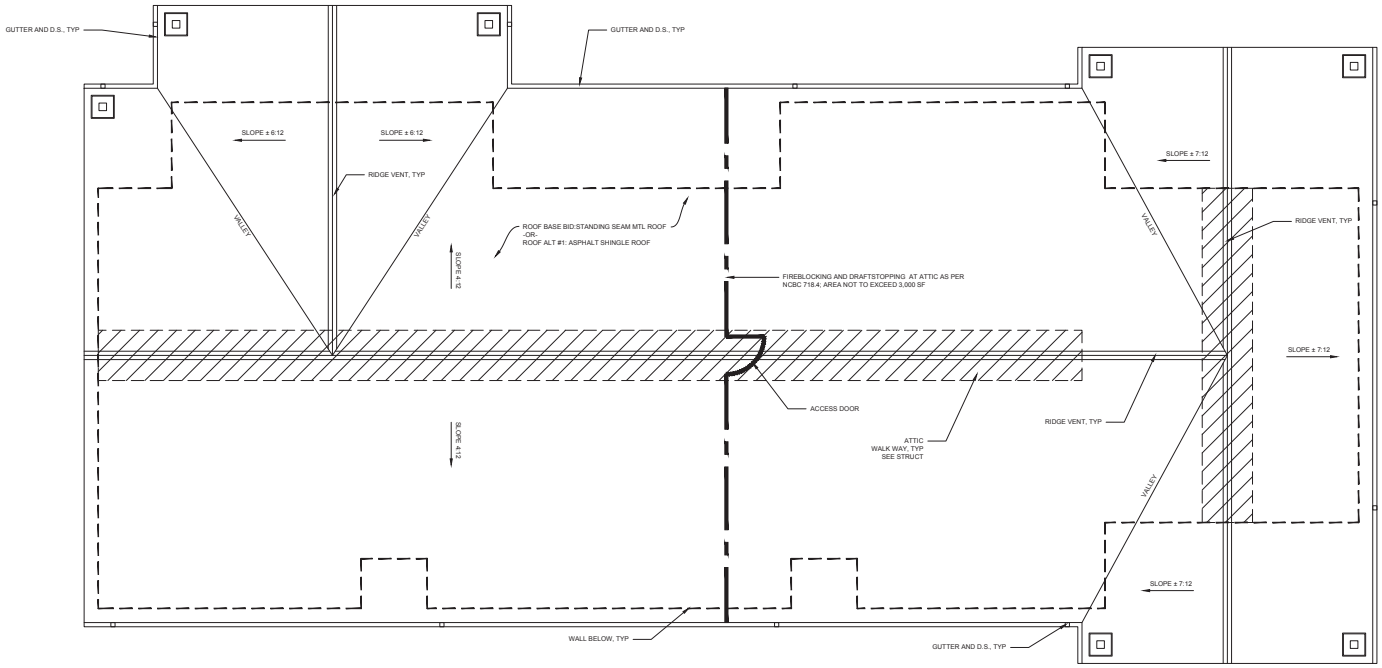
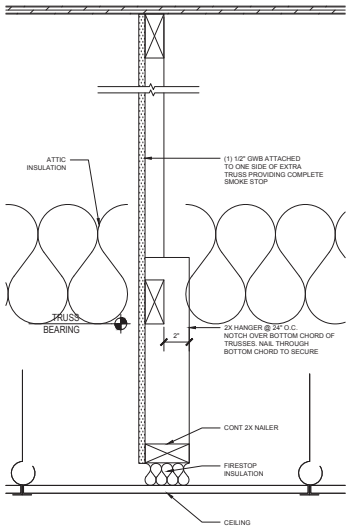


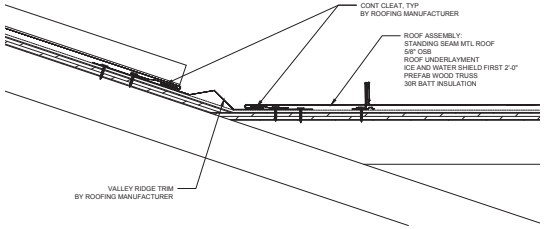
A1.3-03 ROOF PLAN

SCALE: 1/4" = 1'-0"



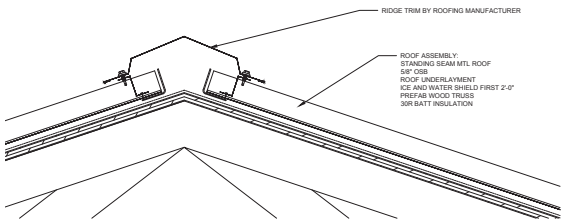
A1.3-01 TYP SMOKE BARRIER DETAIL

SCALE: 3" = 1'-0"



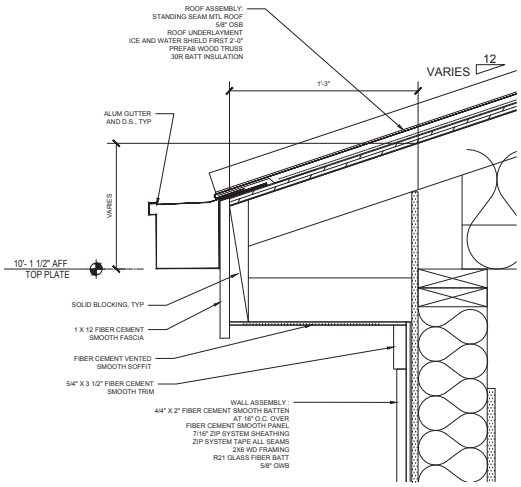
A1.3-05 TYP VALLEY DETAIL

SCALE: 3" = 1'-0"



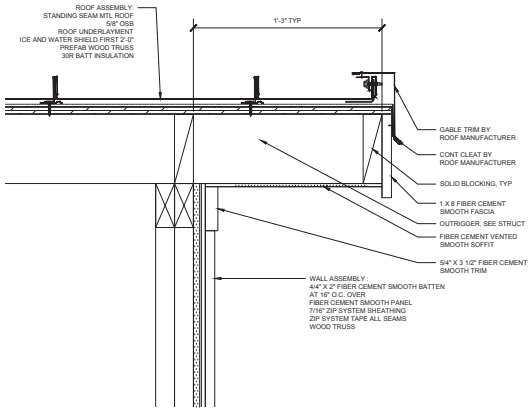
A1.3-06 TYP RIDGE DETAIL

SCALE: 3" = 1'-0"



A1.3-04 TYP EAVE DETAIL

SCALE: 3" = 1'-0"



A1.3-02 TYP GABLE DETAIL

SCALE: 3" = 1'-0"

ROOF PLAN
ROOF DETAILS

DAN NICHOLAS
CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

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PROJECT #: 1903

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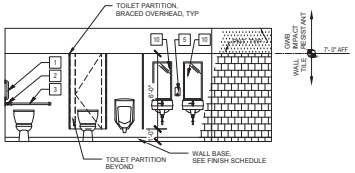
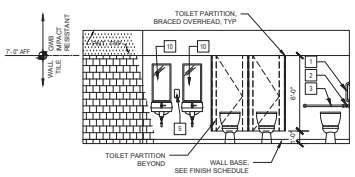
OF: 15



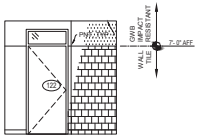
A2.1-08 MEN 120 INTERIOR ELEV

SCALE: 1/4" = 1'-0"



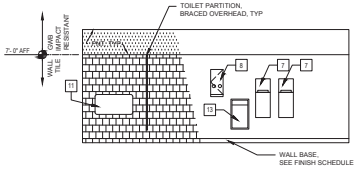
A2.1-05 WOMEN 122 INTERIOR ELEV

SCALE: 1/4" = 1'-0"



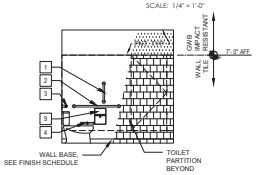
A2.1-09 WOMEN 122 INTERIOR ELEV

SCALE: 1/4" = 1'-0"



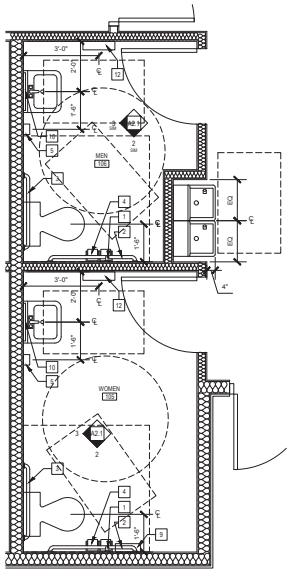
A2.1-06 WOMEN 122 INTERIOR ELEV

SCALE: 1/4" = 1'-0"



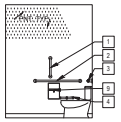
A2.1-07 WOMEN 122 INTERIOR ELEV

SCALE: 1/4" = 1'-0"



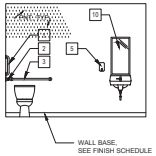
A2.1-4 WOMEN 105 MEN 106 WORKRM 109 ENLARGED PLAN

SCALE: 1/2" = 1'-0"



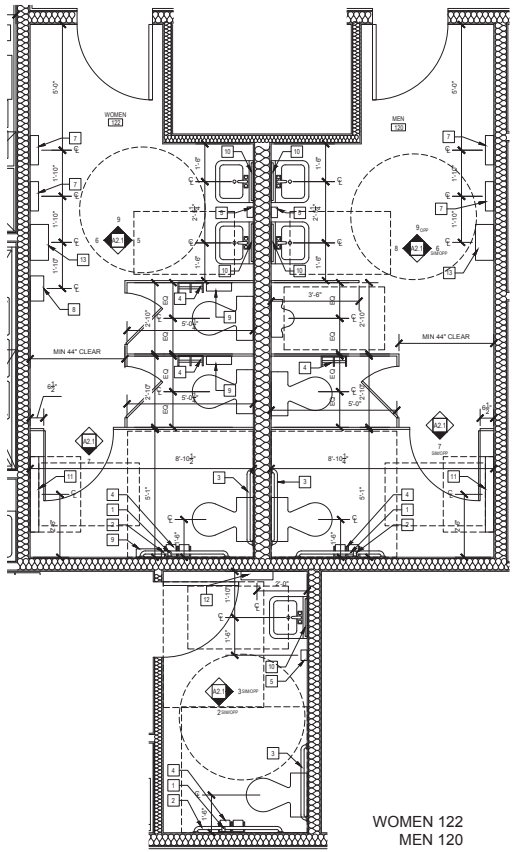
A2.1-02 WOMEN 105 INTERIOR ELEV

SCALE: 1/4" = 1'-0"



A2.1-03 WOMEN 105 INTERIOR ELEV

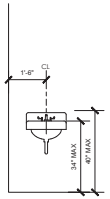
SCALE: 1/4" = 1'-0"



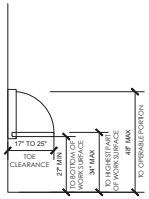
A2.1-01 WOMEN 122 MEN 120 UNISEX 126 ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"

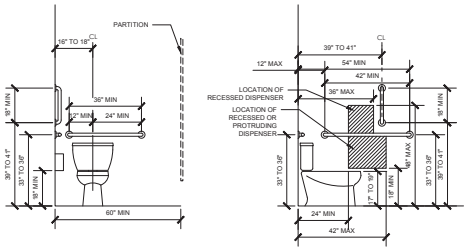
ADA TYPICAL MOUNTING HEIGHTS



ADA SINK DETAILS

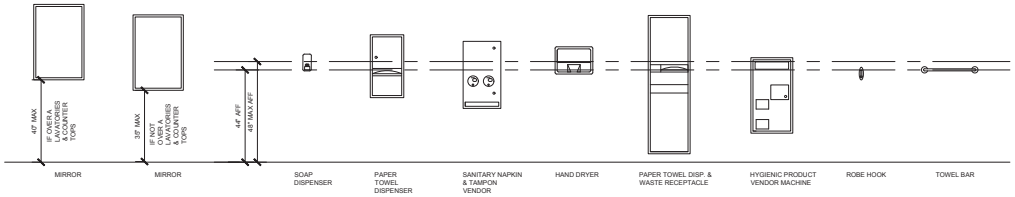


ADA BABY CHANGING STATION



ADA TOILET DETAILS

USE WHERE INDICATED "ADA" ON PLAN



ADA OPERATABLE MOUNTING HEIGHTS

PLUMBING ACCESSORY LEGEND

	DESCRIPTION	FINISH	MANUFACTURER	NOTE
1	18" VERTICAL BAR	BRUSHED SS	BOBRICK B-5806 OR EQUAL	-
2	42" GRAB BAR	BRUSHED SS	BOBRICK B-5806 OR EQUAL	-
3	36" GRAB BAR	BRUSHED SS	BOBRICK B-5806 OR EQUAL	-
4	T.P. DISPENSER	BRUSHED SS	BOBRICK B-2740 OR EQUAL	OWNER PROVIDED, GC INSTALLED
5	SOAP DISPENSER	BRUSHED SS	BOBRICK B-2111 OR EQUAL	OWNER PROVIDED, GC INSTALLED
6	ROBE HOOK (NOT SHOWN ON PLAN OR ELEVATIONS UNLESS OTHERWISE NOTED)	BRUSHED SS	BOBRICK B-6777 OR EQUAL	TYPICAL ONE HOOK PER TOILET STALL DOOR AND BACK OF ENTRY DOORS OF SINGLE OCCUPANT TOILETS.
7	HAND DRYER	BRUSHED SS	BOBRICK B-7128 OR EQUAL	14" VIF X 24" SS BACKSPLASH, ORBITAL SAND FINISH LOCATE UNDER HAND DRYER
8	SURFACE MOUNTED SANITARY NAPKIN/TAMPON VENDOR	BRUSHED SS	BOBRICK B-2706C OR EQUAL	OWNER PROVIDED, GC INSTALLED
9	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	BRUSHED SS	BOBRICK B-254 OR EQUAL	OWNER PROVIDED, GC INSTALLED
10	18" X 36" MIRROR	BRUSHED SS	BOBRICK B-290-1836 OR EQUAL	-
11	HORIZONTAL BABY STATION	HIGH DENSITY PLASTIC	BRADLEY KB200 OR EQUAL	-
12	PAPER TOWEL DISPENSER/ WASTE RECEPTACLE	BRUSHED SS	BOBRICK 235-11 OR EQUAL	OWNER PROVIDED, GC INSTALLED
13	WASTE RECEPTACLE	BRUSHED SS	BOBRICK 344-11 OR EQUAL	OWNER PROVIDED, GC INSTALLED

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ENLARGED PLAN; INT ELEV; ADA TYP HEIGHTS

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6800 BRINGLE FERRY RD
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DRAWN BY: EKT
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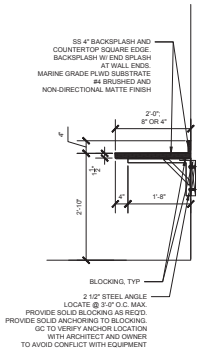
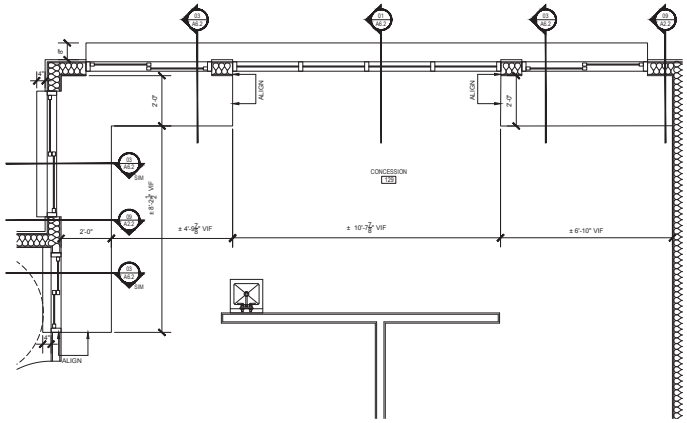


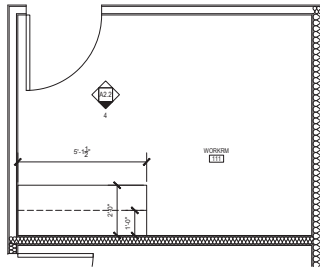
A2.2-09 CASEWORK DETAIL

SCALE: 3/4" = 1'-0"



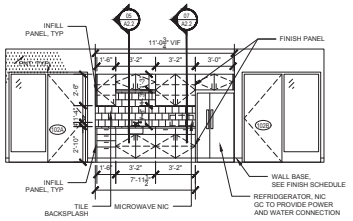
A2.2-06 CONCESSION 129 ENLARGED PLAN

SCALE: 1/2" = 1'-0"



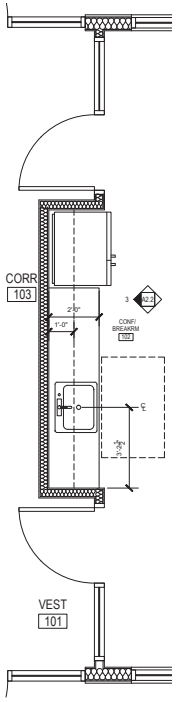
A2.2-02 WORKRM 111 ENLARGED PLAN

SCALE: 1/2" = 1'-0"



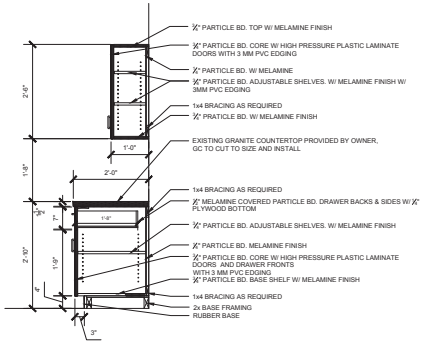
A2.2-03 CONF / BREAKRM 102 INTERIOR ELEV

SCALE: 1/4" = 1'-0"



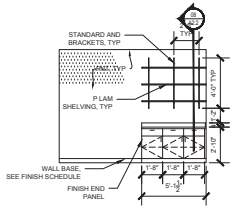
A2.2-01 CONF / BREAKRM 102 ENLARGED PLAN

SCALE: 1/2" = 1'-0"



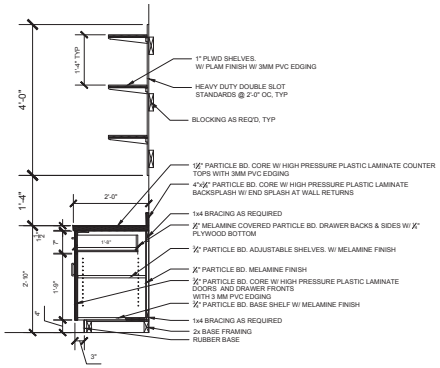
A2.2-07 CASEWORK DETAIL

SCALE: 3/4" = 1'-0"



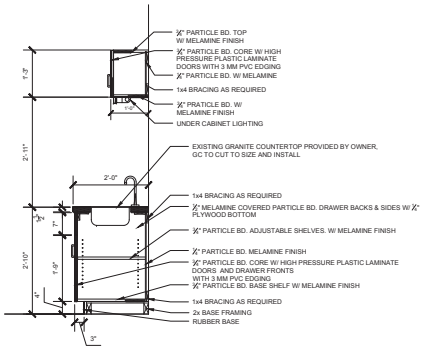
A2.2-04 WORKRM 109 INTERIOR ELEV

SCALE: 1/4" = 1'-0"



A2.2-08 CASEWORK DETAIL

SCALE: 3/4" = 1'-0"



A2.2-05 CASEWORK DETAIL

SCALE: 3/4" = 1'-0"

CASEWORK GENERAL NOTES

1. CABINET CONSTRUCTION METHODS ARE SUGGESTED. METHODS WHICH ACHIEVED REQUIRED END RESULTS ARE ACCEPTABLE BASED ON WRITTEN APPROVAL BY THE ARCHITECT.
2. FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CABINETRY CONSTRUCTION.
3. VERIFY APPLIANCE AND PLUMBING CLEARANCES AND INSTALLATION REQUIREMENTS, INCLUDING ANY COUNTERTOP CUT-OUTS, PRIOR TO FABRICATION.
4. BUILT-IN APPLIANCES SHALL BE FURNISHED BY OWNER AND INSTALLED BY GC. COORDINATE ROUGH OPENING AND FINISH DIMENSIONS AS REQUIRED PRIOR TO FABRICATION.
5. CAULK WITH PLASTIC CAULKING WHERE COUNTERTOP MEETS BACK-SPLASH AND WHERE BACK-SPLASH MEETS WALLS.
6. STANDARDS AND BRACKETS -
   - 6.1. ADJUSTABLE SLOTTED TYPE STANDARDS AND BRACKETS TO SUPPORT SHLEVES WITH UNIFORM 40 LB PER SF LOADING
   - 6.2. STANDARDS BRACKETS BY KNAPE & VOGT #255, SILVER FINISH, OR EQUAL

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ENLARGED PLAN; INT ELEV; CASEWORK DETAILS

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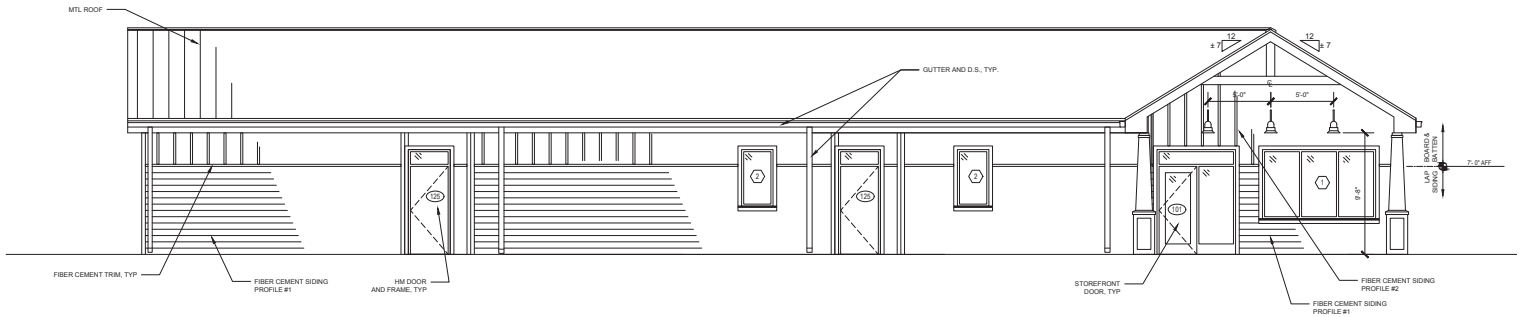
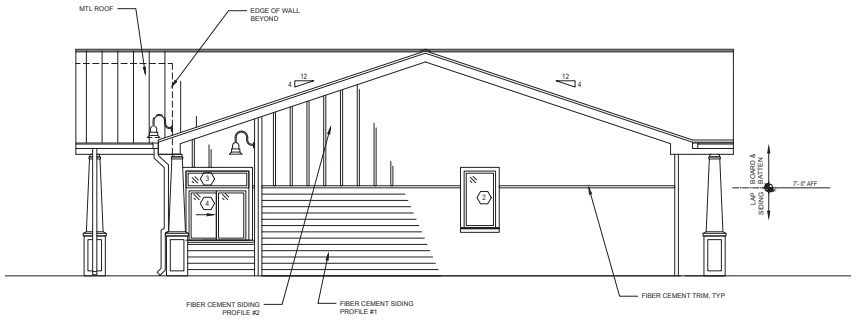


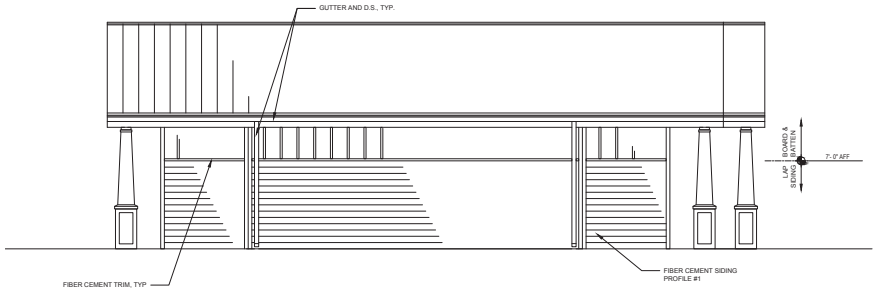
A3.1-01 PLAN SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



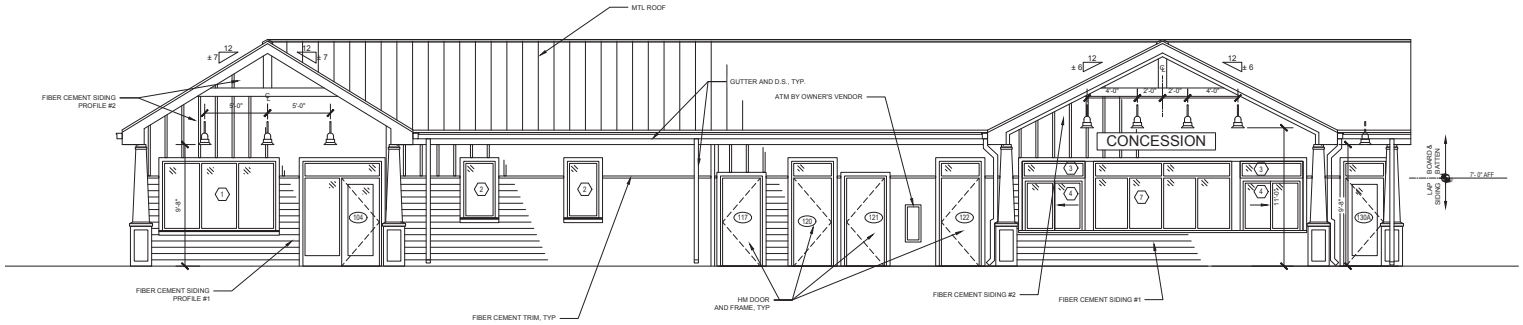
A3.1-03 PLAN WEST ELEVATION

SCALE: 1/4" = 1'-0"



A3.1-02 PLAN EAST ELEVATION

SCALE: 1/4" = 1'-0"



A3.1-04 PLAN NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

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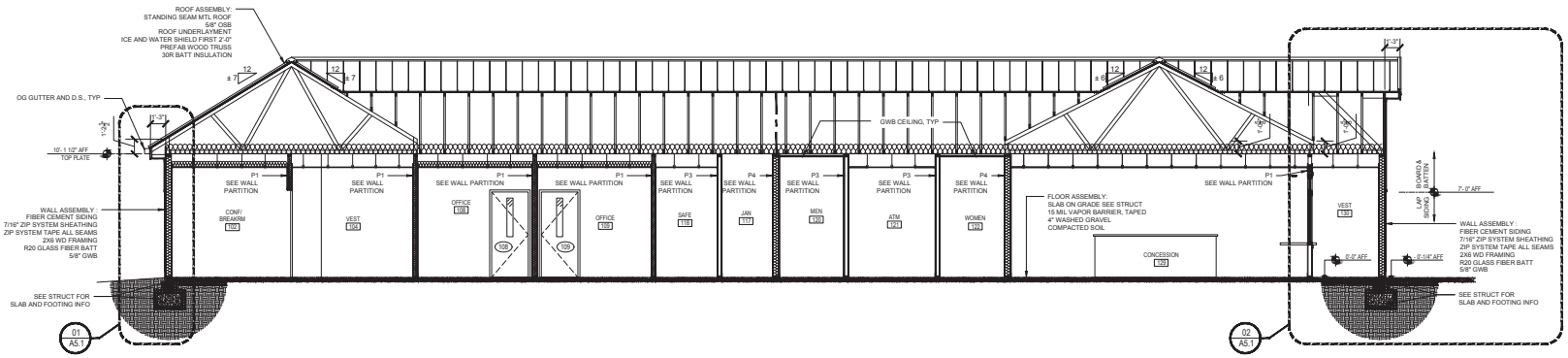
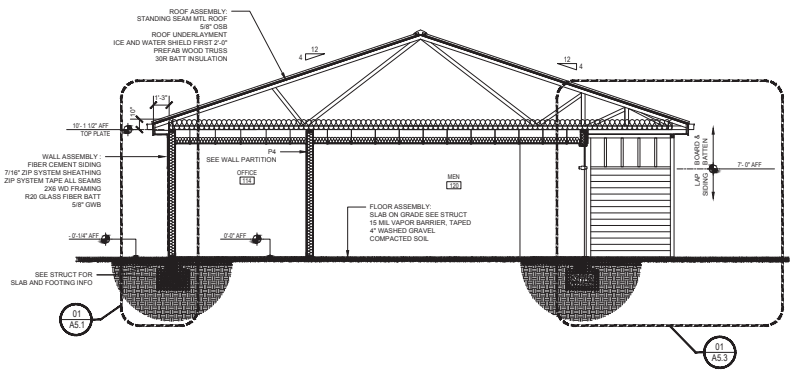


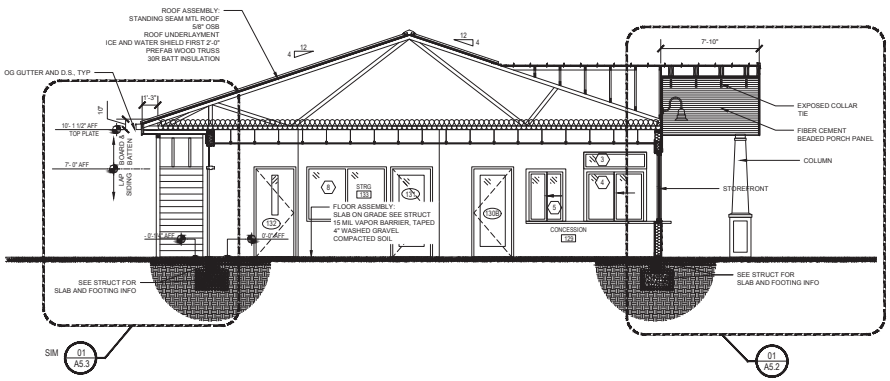
A4.1-01 BUILDING SECTION

SCALE: 1/4" = 1'-0"



A4.1-03 BUILDING SECTION

SCALE: 1/4" = 1'-0"



A4.1-02 BUILDING SECTION

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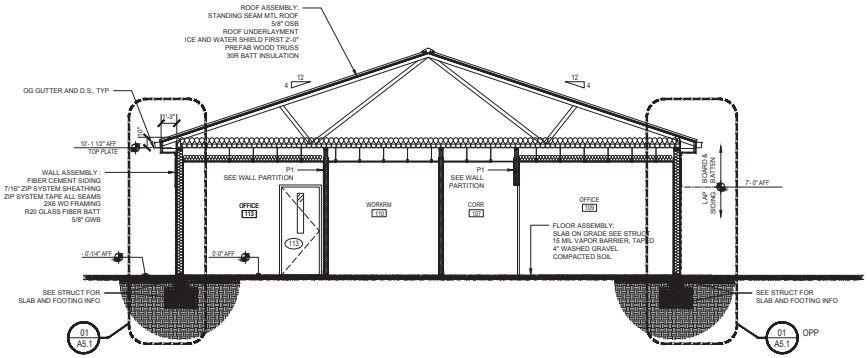

A4.1-04 BUILDING SECTION

SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

DAN NICHOLAS CONCESSION

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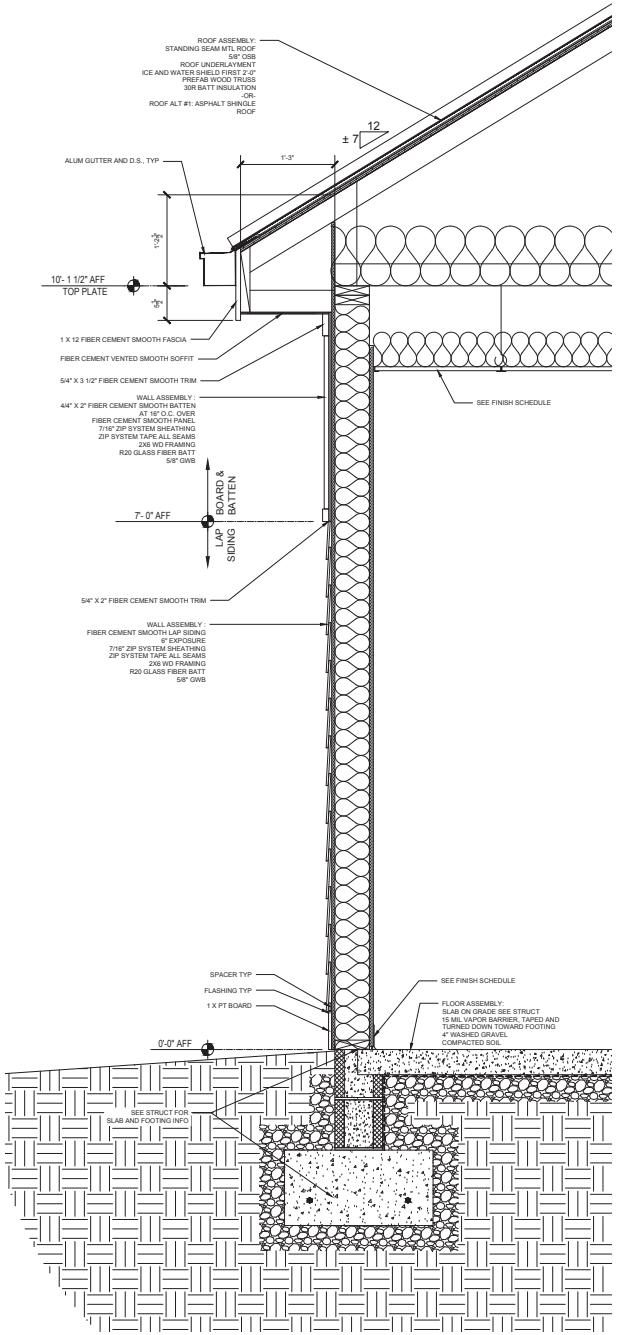
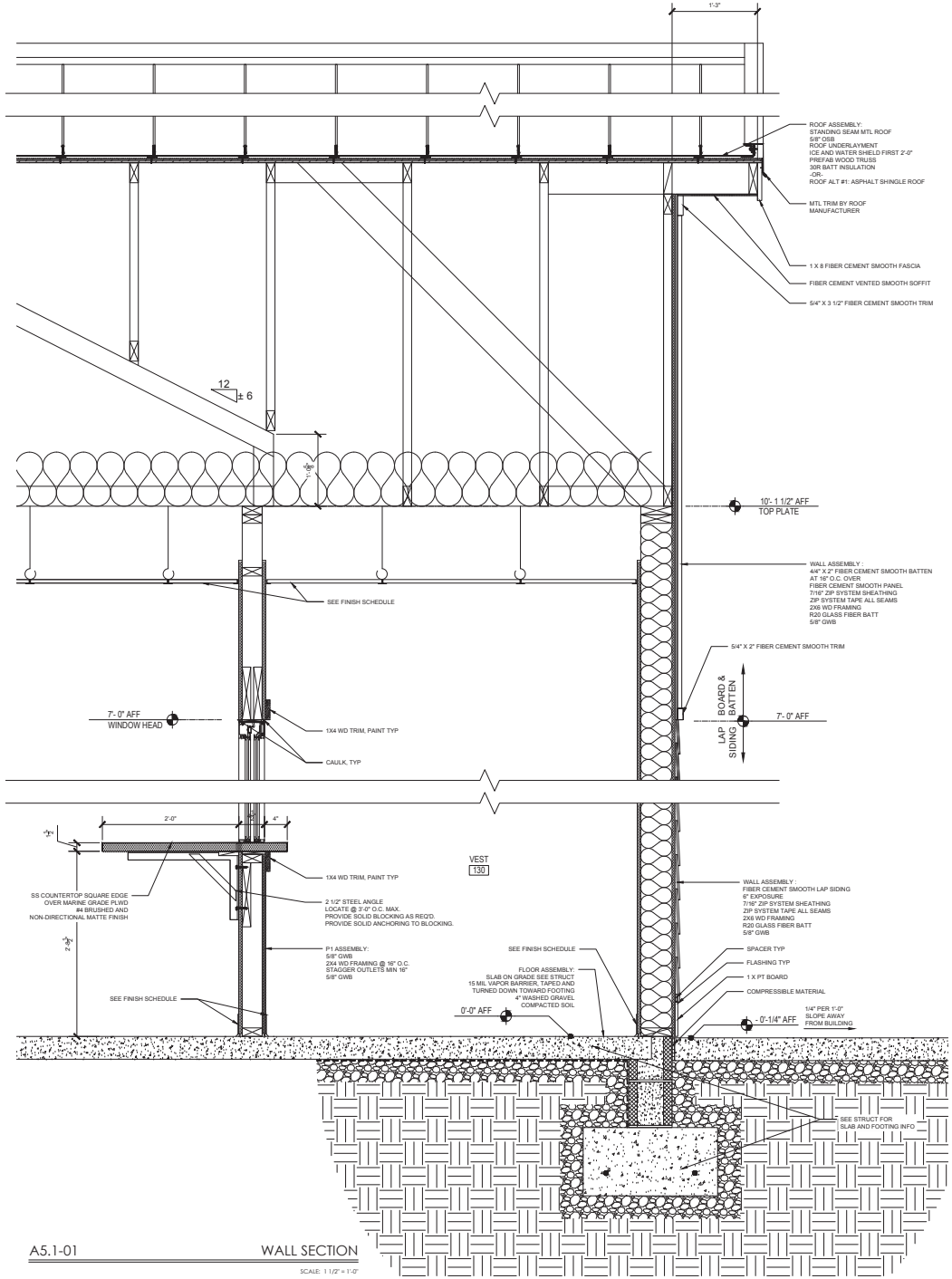
OF: 15



A5.1-02 WALL SECTION

SCALE: 1 1/2" = 1'-0"



A5.1-01 WALL SECTION

SCALE: 1 1/2" = 1'-0"

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WALL SECTIONS

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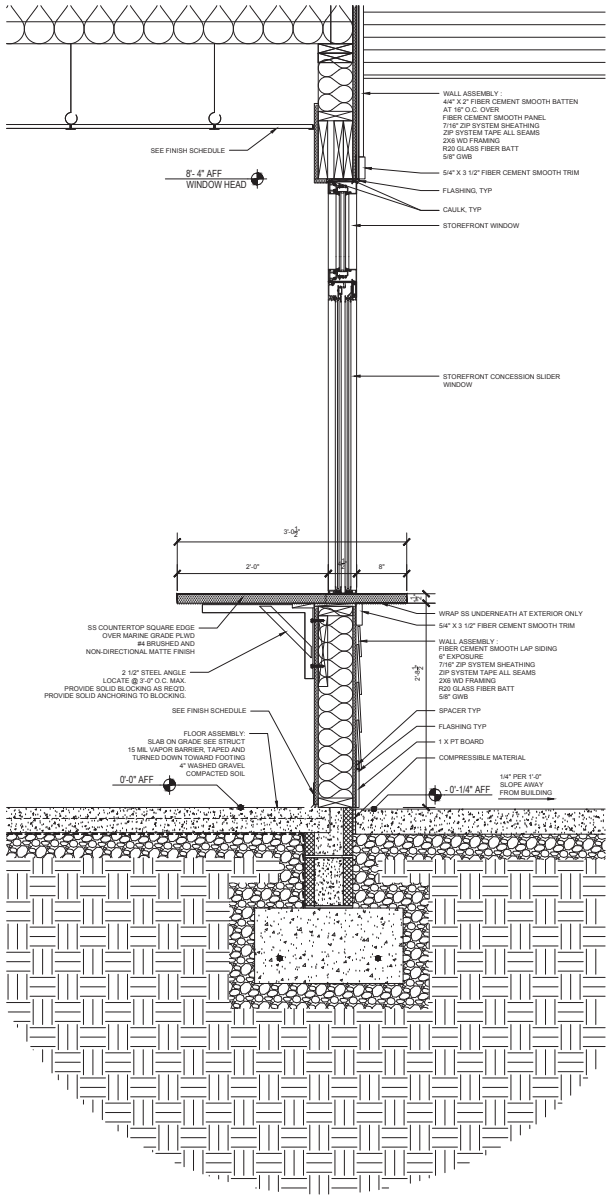
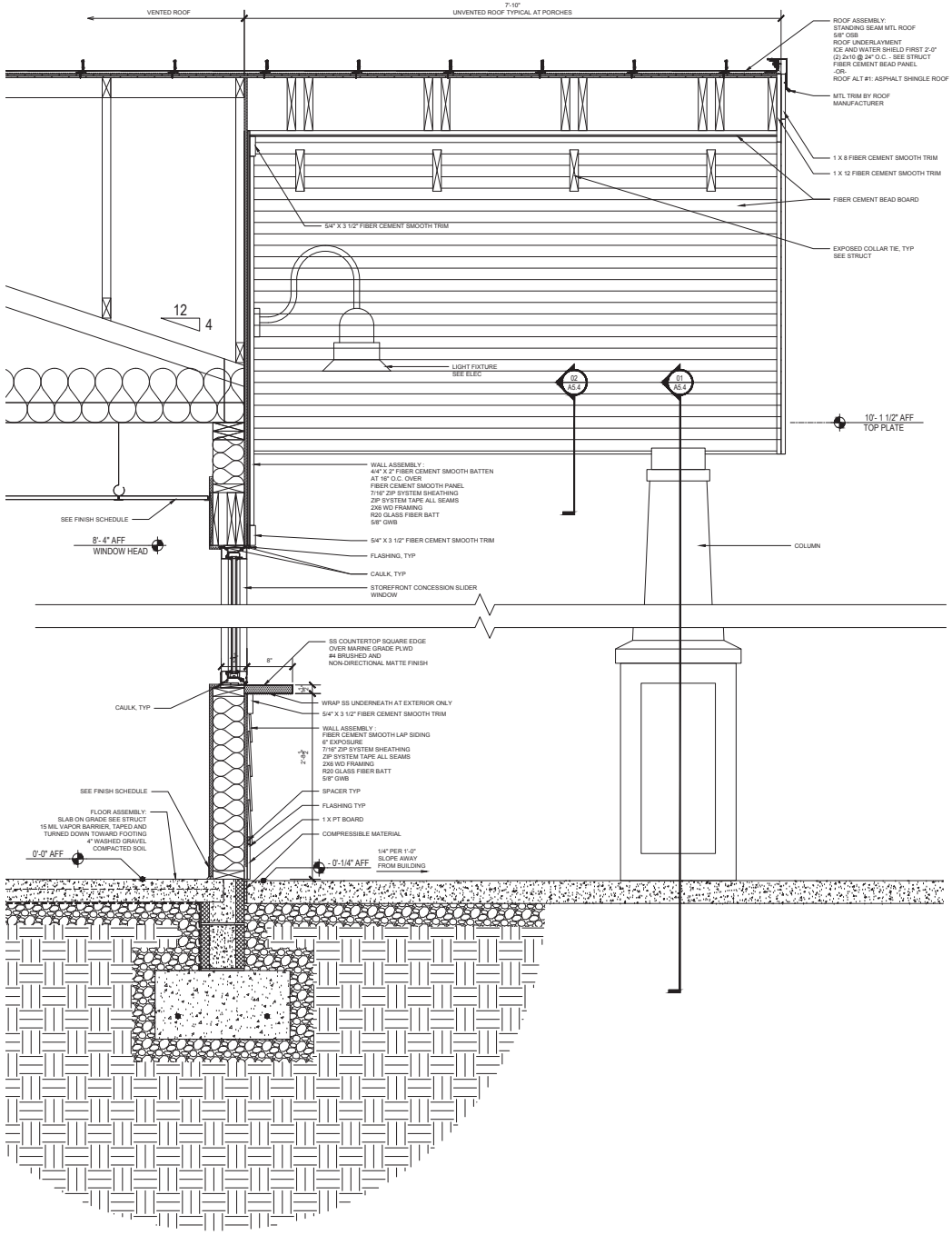


A5.2-02 BUILDING SECTION

SCALE: 1 1/2" = 1'-0"



A5.2-01 WALL SECTION

SCALE: 1 1/2" = 1'-0"

the BOGLE FIRM
ARCHITECTURE
110 N. MAIN ST pete@boglefirm.com
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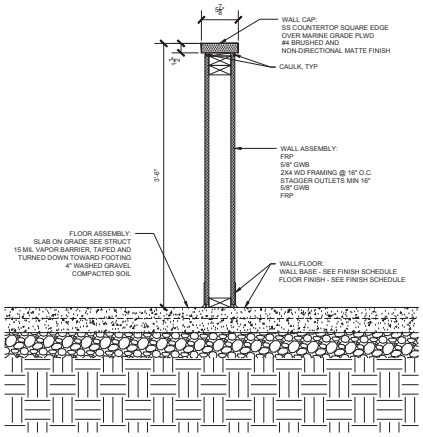
WALL SECTIONS

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

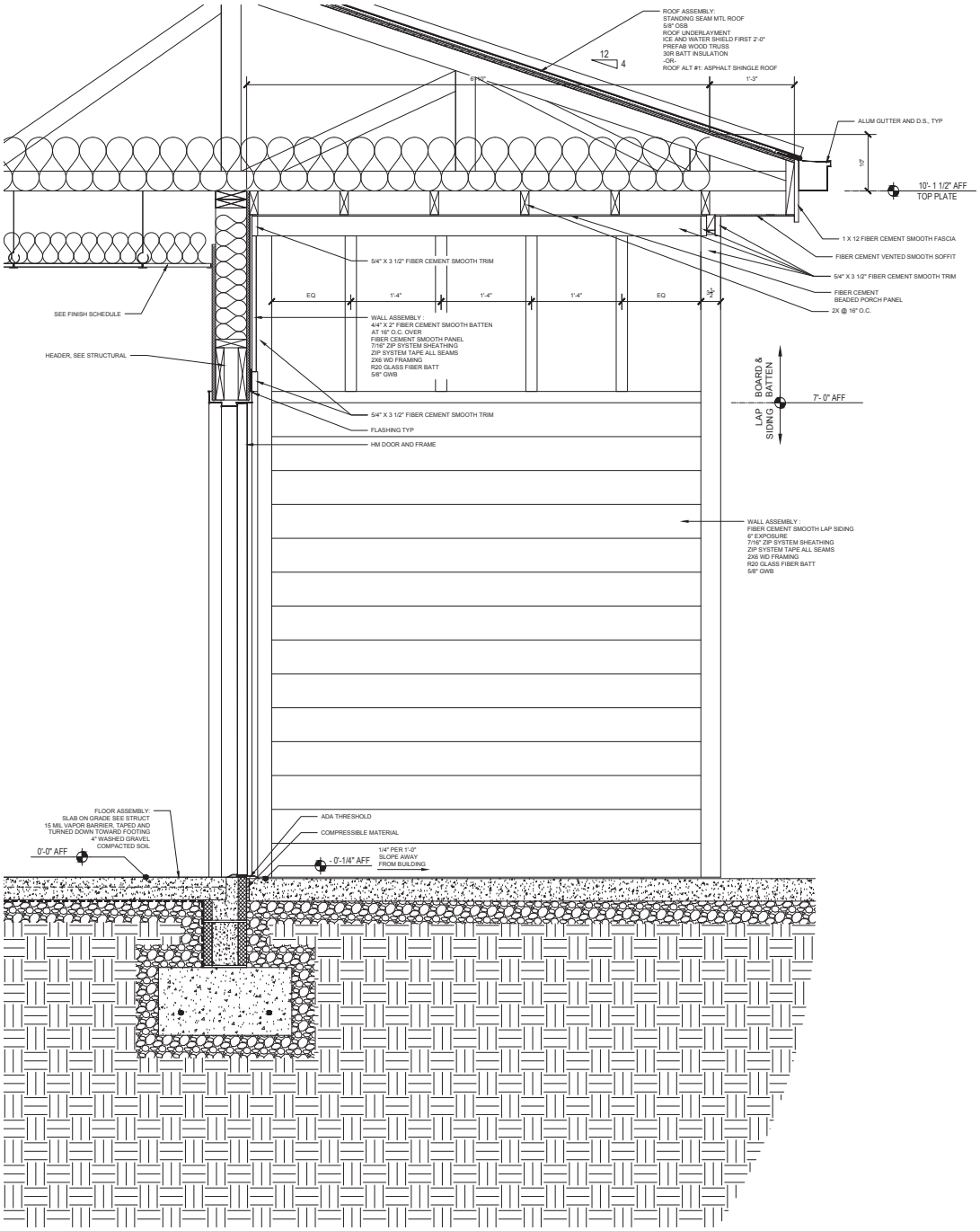
DRAWN BY: EKT
CHECKED BY: DRB
DATE: 01.23.20
PROJECT #: 1903

SHEET NUMBER
A5.2
OF: 15



A5.3-02 PARTIAL HEIGHT WALL TYP

SCALE: 1 1/2" = 1'-0"



A5.3-01 WALL SECTION

SCALE: 1 1/2" = 1'-0"

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WALL SECTIONS

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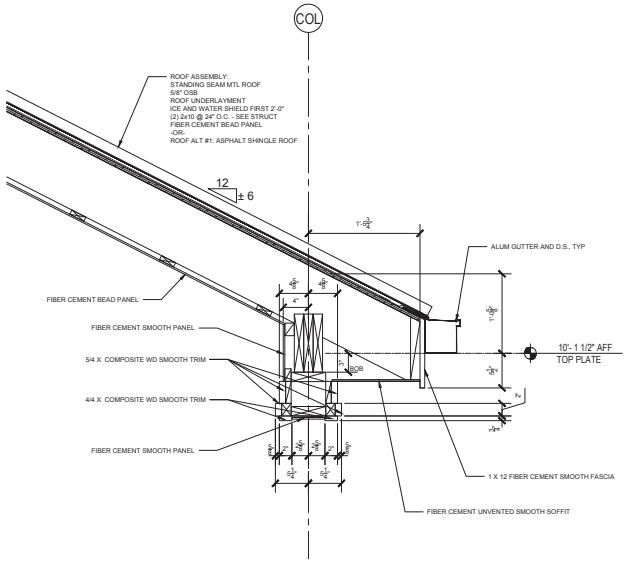
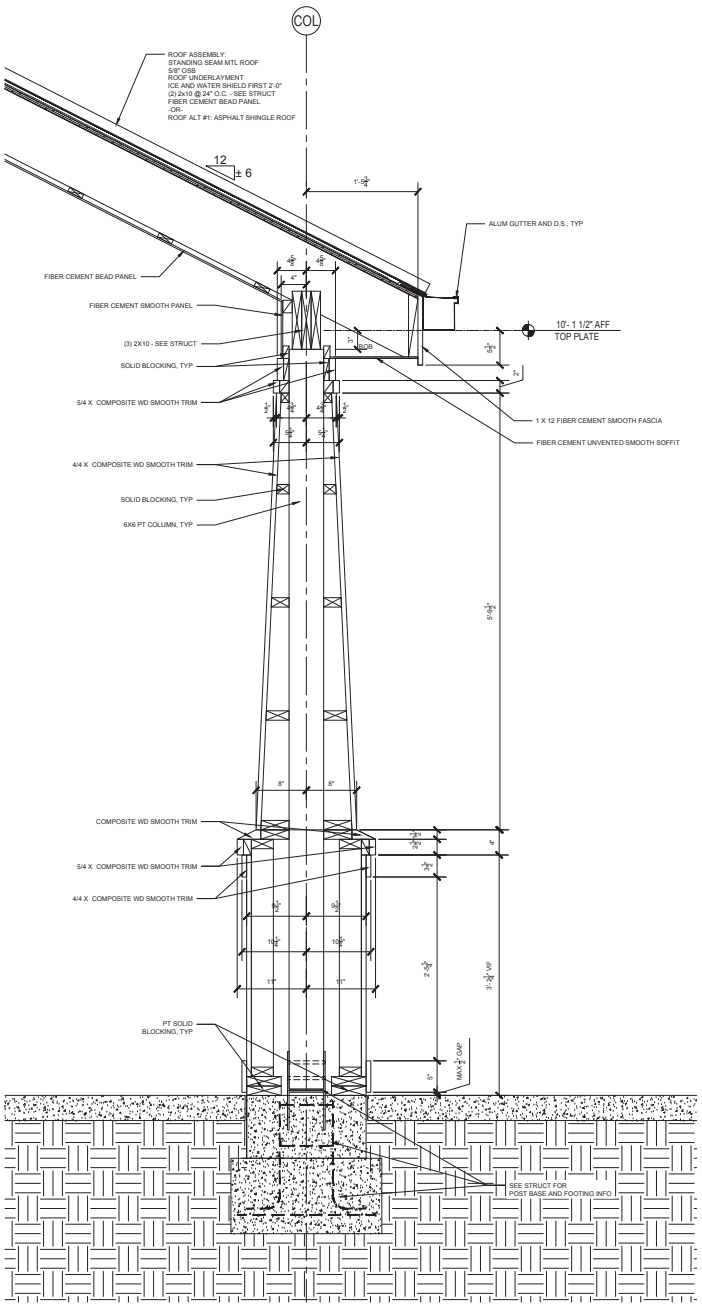


A5.4-02 BEAM SECTION

SCALE: 1 1/2" = 1'-0"



A5.4-01 COLUMN SECTION

SCALE: 1 1/2" = 1'-0"

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COLUMN SECTIONS

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SALISBURY NC

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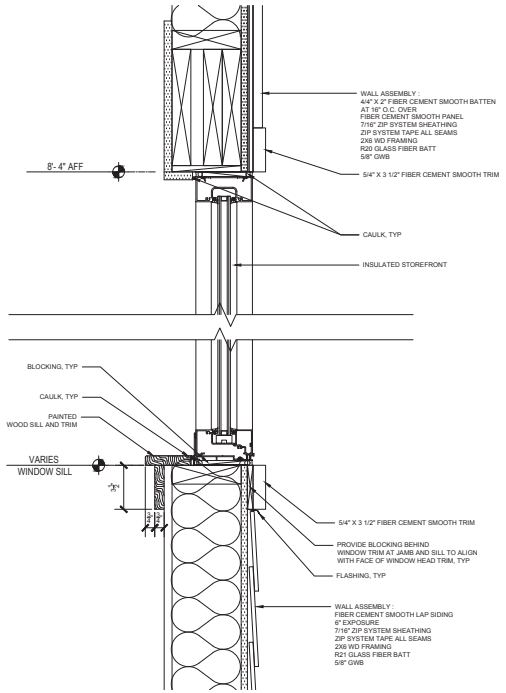
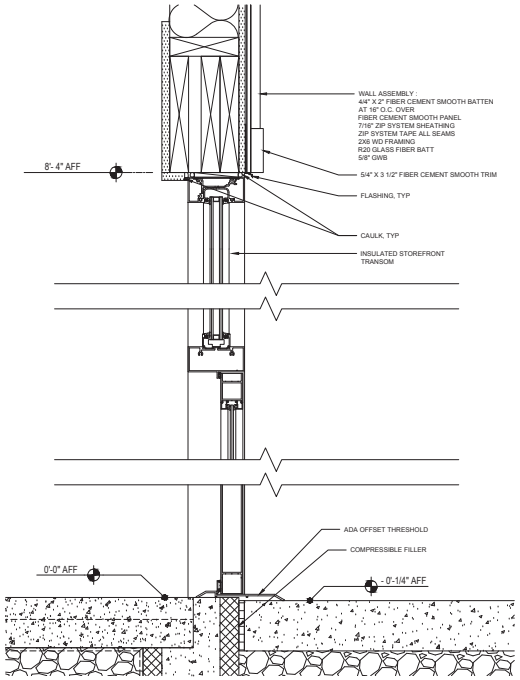
OF: 15



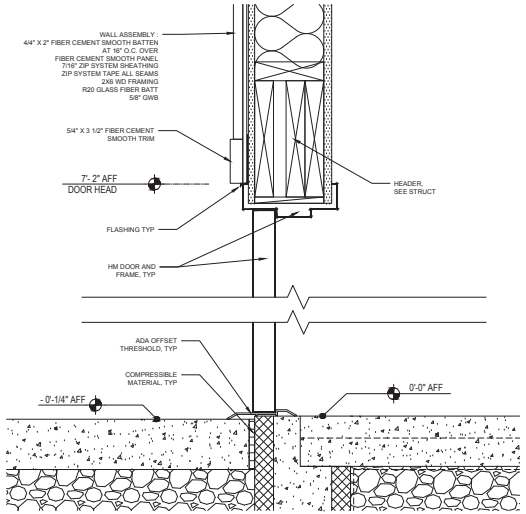
A6.1-06 TYP STOREFRONT WINDOW HEAD AND SILL DETAIL

SCALE: 3" = 1'-0"



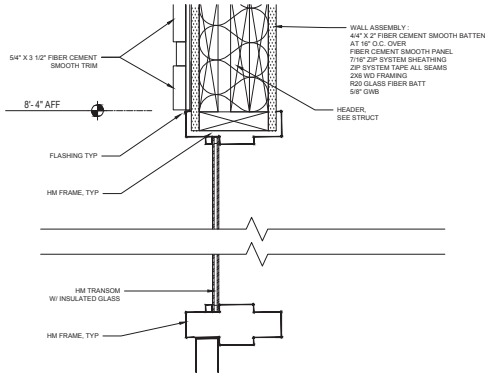
A6.1-04 TYP STOREFRONT DOOR TRANSOM, HEAD, AND SILL DETAIL

SCALE: 3" = 1'-0"



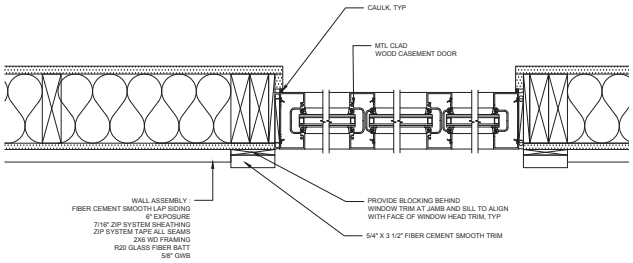
A6.1-01 TYP HM DOOR HEAD AND SILL DETAIL

SCALE: 3" = 1'-0"



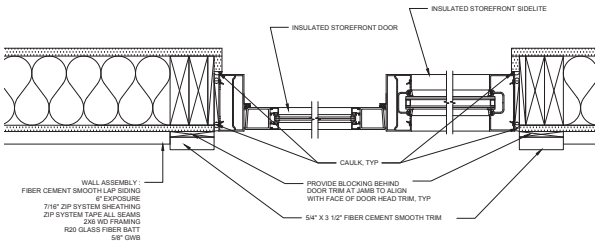
A6.1-02 TYP HM DOOR TRANSOM DETAIL

SCALE: 3" = 1'-0"



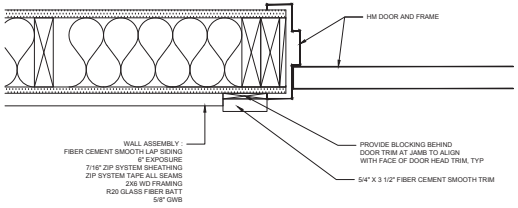
A6.1-07 TYP STOREFRONT WINDOW JAMB DETAIL

SCALE: 3" = 1'-0"



A6.1-05 TYP STOREFRONT DOOR JAMB AND SIDELITE DETAIL

SCALE: 3" = 1'-0"



A6.1-03 TYP HM DOOR JAMB DETAIL

SCALE: 3" = 1'-0"

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WINDOW & DOOR
PLAN &
SECTION DETAILS

DAN NICHOLAS
CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

DRAWN BY: EKT
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DATE: 01.23.20
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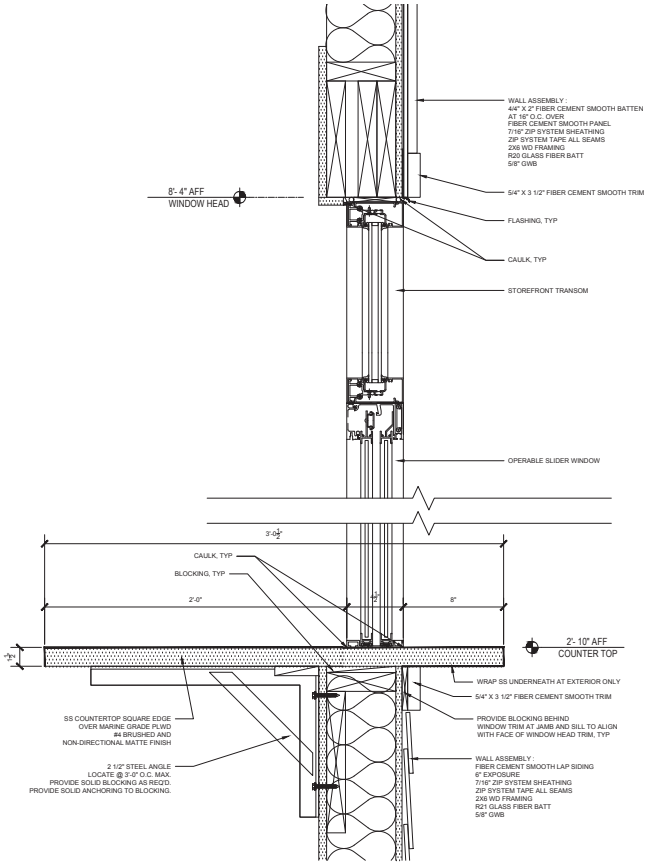
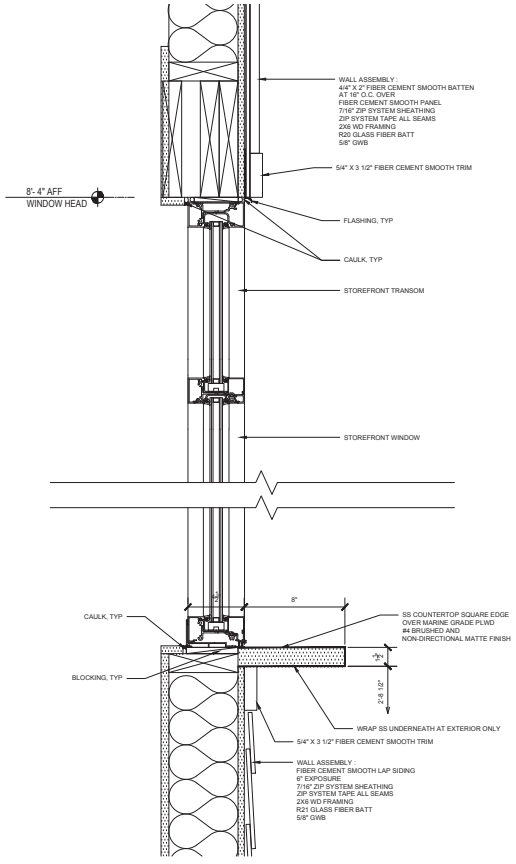
OF: 15



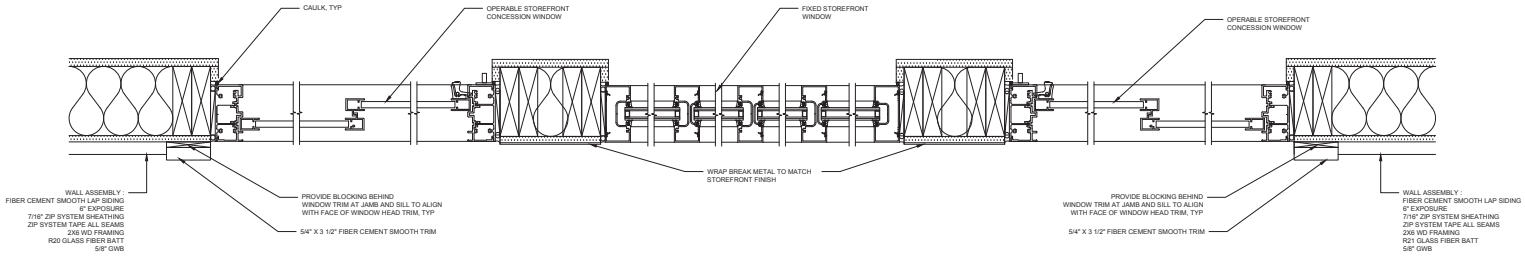
A6.2-03 TYP CONCESSION STOREFRONT HEAD AND SILL DETAIL

SCALE: 3" = 1'-0"



A6.2-01 TYP STOREFRONT HEAD AND SILL DETAIL

SCALE: 3" = 1'-0"



A6.2-02 TYP CONCESSION STOREFRONT JAMB DETAIL

SCALE: 3" = 1'-0"

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WINDOW PLAN & SECTION DETAILS

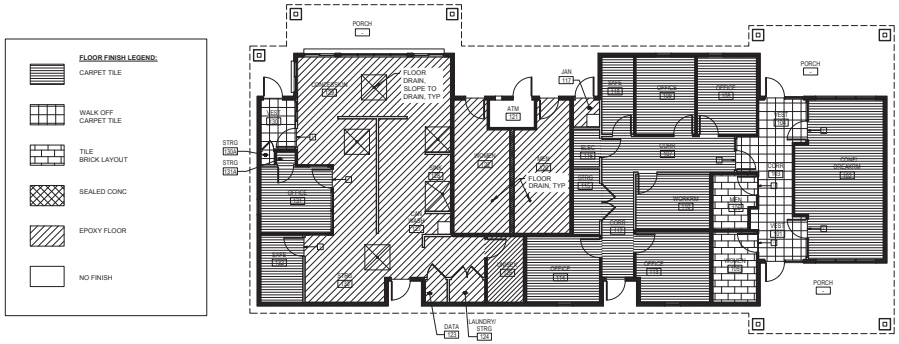
DAN NICHOLAS CONCESSION

6800 BRINGLE FERRY RD
SALISBURY NC

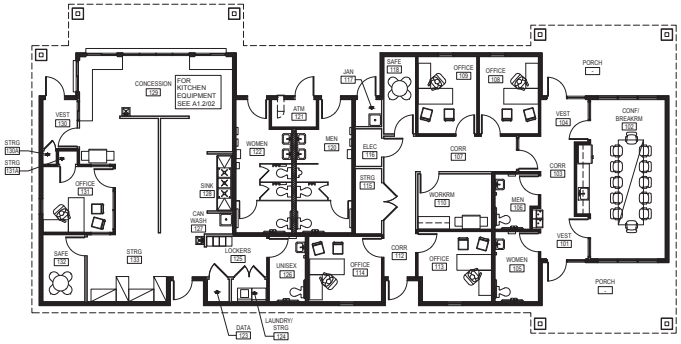
DRAWN BY: EKT
CHECKED BY: DRB
DATE: 01.23.20
PROJECT #: 1903

SHEET NUMBER
A6.2
OF: 15

FINISH PLAN



FURNITURE PLAN



FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	Plan North	Plan East	Plan South	Plan West	CLG.	CLG. HGT.	REMARKS
101	VEST	CPT-WO	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
102	CONF / BREAKRM	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
103	CORR	CPT-WO	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
104	VEST	CPT-WO	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
105	WOMEN	FT	TB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
106	MEN	FT	TB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
107	CORR	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
108	OFFICE	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
109	OFFICE	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
110	WORKRM	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
111	NOT USED									
112	CORR	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
113	OFFICE	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
114	OFFICE	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
115	OFFICE	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
116	ELEC	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
117	JAN	EPX	CB	FRP GWB-I	FRP GWB-I	FRP GWB-I	FRP GWB-I	ACT	9'-0"	1
118	NOT USED									
119	NOT USED									
120	WOMEN	EPX	CB	WT GWB-I	WT GWB-I	WT GWB-I	WT GWB-I	GWB-I	9'-0"	2
121	ATM	N/A	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
122	MEN	EPX	CB	WT GWB-I	WT GWB-I	WT GWB-I	WT GWB-I	GWB-I	9'-0"	2
123	DATA / ELEC	EPX	CB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
124	LAUNDRY / STRG	EPX	CB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
125	LOCKERS	EPX	CB	FRP GWB-P	FRP GWB-P	FRP GWB-P	FRP GWB-P	ACT	9'-0"	1
126	UNISEX	EPX	CB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
127	CAN WASH	EPX	CB	FRP GWB-P	FRP GWB-P	FRP GWB-P	FRP GWB-P	ACT	9'-0"	1
128	SINK	EPX	CB	FRP GWB-P	FRP GWB-P	FRP GWB-P	FRP GWB-P	ACT	9'-0"	1
129	CONCESSION	EPX	CB	FRP GWB-P	FRP GWB-P	FRP GWB-P	FRP GWB-P	ACT	9'-0"	1
130	VEST	CPT-WO	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
130A	STRG	CPT-WO	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
131	OFFICE	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
131A	STRG	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
132	SAFE	CPT-T	RB	GWB-P	GWB-P	GWB-P	GWB-P	ACT	9'-0"	-
133	STRG	EPX	CB	FRP GWB-P	FRP GWB-P	FRP GWB-P	FRP GWB-P	ACT	9'-0"	1

FINISH PLAN NOTES

1. PROVIDE TRANSITION STRIPS AS REQ'D BETWEEN DIFFERENT FLOOR FINISHES

FINISH SCHEDULE NOTES

1. FRP TO 6'-0" AFF; GWB-P ABOVE 6'-0" AFF
2. WALL TILE TO 7'-0" AFF; GWB-I ABOVE 7'-0" AFF

FINISH GENERAL NOTES

1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND EXTENT OF EXISTING AND NEW FINISHES.
2. G.C. TO COORDINATE IN-WALL BLOCKING REQUIREMENTS WITH MILLWORK SUBCONTRACTOR.
3. ANY EXISTING SURFACES THAT ARE DAMAGED AS A RESULT OF INSTALLING NEW PM&E COMPONENTS ARE TO BE REPAIRED TO MATCH EXISTING, ADJACENT CONSTRUCTION, TYPICAL.
4. ARCHITECT TO CHOOSE FOLLOWING PAINT COLORS:
   - 4.1. (2) ACCENT WALL COLOR
   - 4.2. (2) INTERIOR WALL COLOR
   - 4.3. (2) EXTERIOR PAINT COLOR
5. ACT TYPICAL UNLESS OTHERWISE NOTED

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE
CB	COVE BASE - EPOXY
CPT-T	CARPET TILE
CPT-WO	CARPET WALK OFF
EPX	EPOXY FLOOR PAINT
EXT	EXISTING
FRP	FIBERGLASS REINFORCED PLASTIC
FT	FLOOR TILE
GWB	GYPSUM WALL BOARD
GWB-I	GYPSUM WALL BOARD IMPACT RESISTANT
LVT	LUXURY VINYL TILE
MR GWB	MOISTURE RESISTANT GYPSUM WALL BOARD
P	PAINT
RB	RUBBER BASE
S.CONC	SEALED CONC
TB	TILE WALL BASE
VCT	VINYL COMPOSITE TILE
WD	WOOD
WT	WALL TILE

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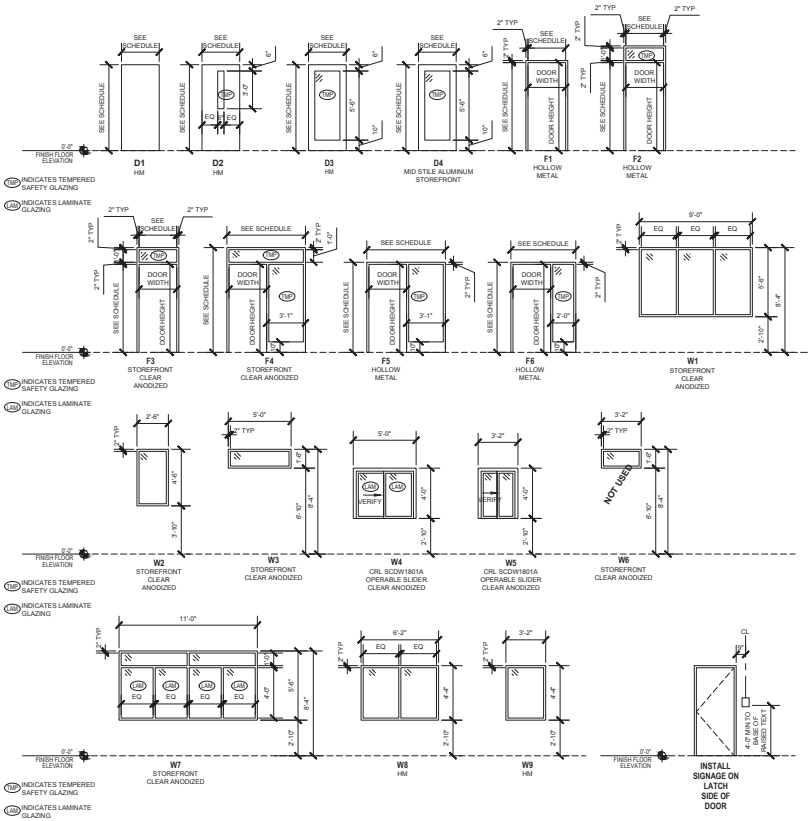
FINISH SCHEDULE
FURNITURE PLAN

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

DRAWN BY: EKT
CHECKED BY: DRB
DATE: 01.23.20
PROJECT #: 1903

SHEET NUMBER
A7.1
OF: 15

WINDOW / DOOR / DOOR SIGANGE ELEVATIONS



NOTE:

1. FENESTRATION ASSEMBLY TO MEET MAXIMUM AIR LEAKAGE RATE AS PER NC ENERGY CODE TABLE C402.5.2
2. FENESTRATION TO MEET MAX U FACTOR AND SHGC AS PER NC ENERGY CODE TABLE C402.4

INSTALL SIGNAGE ON LATCH SIDE OF DOOR

RESTROOM

NOTE:
PROVIDE (1) SIGN PER TOILET COMPLYING WITH ADAAG GUIDELINES. SIGN TO HAVE RAISED AND GRADE 2 BRAILLE CHARACTERS AND PICTORIAL SYMBOL OF ACCESSIBILITY FOR ALL ACCESSIBLE TOILETS.
SIGN SIZE: 6" X 8" INTERIOR BORDER.
COLOR: SUBMIT SAMPLES

DOOR SCHEDULE

DOOR NO.	ROOM NAME	DOOR						FRAME		FIRE LABEL	HDWR SET	REMARKS
		Width	Height	Thick	Type	Mat'l	Finish	Type	Mat'l			
101	VEST	3'-0"	7'-0"	1 3/4"	D4	ALUM	ALUM	F4	ALUM	-	A	-
102A	CONF / BREAKRM	3'-0"	7'-0"	1 3/4"	D3	HM	PT	F5	HM	-	C	-
102B	CONF / BREAKRM	3'-0"	7'-0"	1 3/4"	D3	HM	PT	F5	HM	-	C	-
103	CORR	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F6	HM	-	H	-
104	VEST	3'-0"	7'-0"	1 3/4"	D4	ALUM	ALUM	F4	ALUM	-	A	-
105	WOMEN	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	D	-
106	MEN	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	D	-
107	NOT USED	-	-	-	-	-	-	-	-	-	-	-
108	OFFICE	3'-0"	7'-0"	1 3/4"	D2	HM	PT	F1	HM	-	C	-
109	OFFICE	3'-0"	7'-0"	1 3/4"	D2	HM	PT	F1	HM	-	C	-
110	WORKRM	3'-0"	7'-0"	1 3/4"	D2	HM	PT	F1	HM	-	C	-
111	NOT USED	-	-	-	-	-	-	-	-	-	-	-
112	CORR	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F2	HM	-	B	-
113	OFFICE	3'-0"	7'-0"	1 3/4"	D2	HM	PT	F1	HM	-	C	-
114	OFFICE	3'-0"	7'-0"	1 3/4"	D2	HM	PT	F1	HM	-	C	-
115	STRG	(2) 3'-0"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	G	-
116	ELEC	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	G	-
117	JAN	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	F	-
118	SAFE	3'-0"	7'-0"	1 3/4"	D2	HM	PT	F1	HM	-	C	-
119	NOT USED	-	-	-	-	-	-	-	-	-	-	-
120	MEN	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F2	HM	-	E	-
121	ATM	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	F	-
122	WOMEN	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F2	HM	-	E	-
123	DATA / ELEC	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	G	-
124	LAUNDRY/STRG	(2) 2'-6"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	G	-
125	LOCKERS	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F2	HM	-	B	-
126	UNISEX	3'-0"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	D	-
127	NOT USED	-	-	-	-	-	-	-	-	-	-	-
128	NOT USED	-	-	-	-	-	-	-	-	-	-	-
129	NOT USED	-	-	-	-	-	-	-	-	-	-	-
130A	STRG	1'-10"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	G	-
130B	VEST	3'-0"	7'-0"	1 3/4"	D3	HM	PT	F1	HM	-	H	-
130C	VEST	3'-0"	7'-0"	1 3/4"	D4	ALUM	ALUM	F3	ALUM	-	A	-
131	OFFICE	3'-0"	7'-0"	1 3/4"	D3	HM	PT	F1	HM	-	C	-
131A	STRG	2'-6"	7'-0"	1 3/4"	D1	HM	PT	F1	HM	-	G	-
132	SAFE	3'-0"	7'-0"	1 3/4"	D2	HM	PT	F1	HM	-	C	-
133	NOT USED	-	-	-	-	-	-	-	-	-	-	-

GENERAL NOTES

1. DOOR MANUFACTURER SHALL VERIFY THAT ALL EXIT DOORS MEET ALL STATE REQUIREMENTS FOR EGRESS.
2. REFER TO PLANS FOR HANDING OF DOORS, TYPICAL.
3. PROVIDE ALL NECESSARY INTERIOR TRIM, CASINGS, ETC. AS REQUIRED FOR PROPER INSTALLATION OF DOORS.
4. ALL GLAZED INTERIOR DOORS AND SIDELITES SHALL HAVE 1/4" SINGLE PANE TEMPERED GLAZING.ADDITIONAL GLAZING TO BE TEMPERED WHERE INDICATED ON DRAWINGS AND/OR WHERE REQUIRED BY APPLICABLE CODES.
5. ALL TEMPERED GLAZED EXTERIOR DOORS AND GLASS PANELS TO BE 1/2" THICK. INSTALLER TO PROVIDE ALL ASSOCIATED FRAMING AND TRIM AS REQUIRED FOR A COMPLETE INSTALLATION. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
6. VERIFY THROAT DIMENSION OF HM FRAMES WITH PARTITION TYPE.
7. ALL HM FRAMES TO KNOCK DOWN. FRAMES TO BE PRIMED AND PAINTED, TYPICAL.
8. AT EXISTING DOORS TO BE REUSED, REMOVE ALL EXISTING HARDWARE, PREP DOOR AND FRAME FOR NEW HARDWARE, REFINISH DOOR AND FRAME PER DOOR SCHEDULE, INSTALL NEW HARDWARE. NOTIFY ARCHITECT IF ADDITIONAL REPAIRS TO EXISTING DOOR OR FRAME ARE REQUIRED TO INSTALL SPECIFIED NEW HARDWARE.
9. GC TO COORDINATE KEYING REQUIREMENTS WITH OWNER AND OWNER'S VENDORS.

DOOR HARDWARE

A — ENTRY LOCKSET 1
ENTRY LOCKSET WITH LEVER
PADDLE RELEASE AT INTERIOR
CLOSER
WEATHERSTRIPPING
DOOR SWEEP
THRESHOLD - ADA OFFSET

HARDWARE BY STOREFRONT MANUFACTURER.

B — ENTRY LOCKSET 2
(3) BB HINGES, BRASS BASE
ENTRY LOCKSET WITH LEVER
PADDLE RELEASE AT INTERIOR
CARD READER
ELECTRIC STRIKE
POWER SUPPLY
CLOSER
GASKET - ZERO 485AA-S OR EQUAL
DOOR SWEEP - ZERO 39A OR EQUAL
THRESHOLD - ADA OFFSET
VIEWER IVES U700 OR EQUAL
KICKPLATE
SILENCER

DOOR NORMALLY CLOSED AND LOCKED.
FREE EGRESS ALWAYS ALLOWED.

C — OFFICE LOCKSET
OFFICE LOCKSET WITH LEVER
3 BB HINGES
WALL STOP
SILENCER
WALL STOP

D — RESTRM #1
PRIVACY LOCKSET
3 BB HINGES
WALL STOP
SILENCER

E — RESTRM #2
PUSH / PULL
3 BB HINGES
CLOSER
GASKET - ZERO 485AA-S OR EQUAL
DOOR SWEEP - ZERO 39A OR EQUAL
THRESHOLD - ADA OFFSET
WALL STOP
KICKPLATE

F — STORAGE LOCKSET #1
STOREROOM LOCKSET
LEVER HANDLE
3 BB HINGES, BRASS BASE
GASKET - ZERO 485AA-S OR EQUAL
DOOR SWEEP - ZERO 39A OR EQUAL
THRESHOLD
OVERHEAD STOP
KICKPLATE

DOOR NORMALLY CLOSED AND LOCKED.

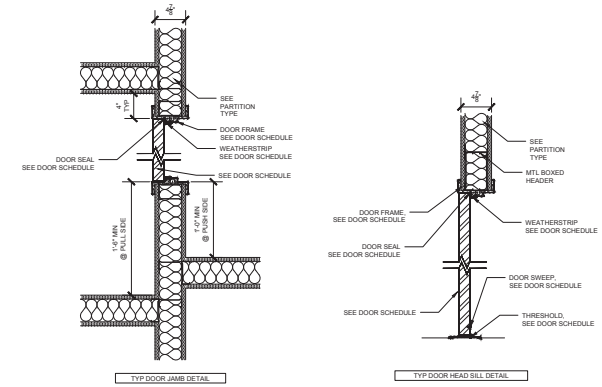
G — STORAGE LOCKSET #2
STOREROOM LOCKSET
LEVER HANDLE
3 BB HINGES
WALL STOP
SILENCER
OVERHEAD STOP

DOOR NORMALLY CLOSED AND LOCKED.

H — INTERIOR ENTRY LOCKSET
(3) BB HINGES, BRASS BASE
ENTRY LOCKSET WITH LEVER
PADDLE RELEASE AT INTERIOR
CLOSER
SILENCER

DOOR NORMALLY CLOSED AND LOCKED.
FREE EGRESS ALWAYS ALLOWED.

TYPICAL INTERIOR DOOR DETAIL



TYP DOOR JAMB DETAIL

TYP DOOR HEAD SILL DETAIL

the BOGLE FIRM
ARCHITECTURE
110 N. MAIN ST
SUITE 200
SALISBURY, NC 28144
pete@boglefirm.com
www.boglefirm.com
704.638.2015

PUBLICATION OR REUSE OF THESE DRAWINGS OR ANY INCLUDED DETAILS MUST BE WITH THE WRITTEN CONSENT OF THE FIRM'S PRINCIPAL ARCHITECT.

DOOR & WINDOW SCHEDULE

DAN NICHOLAS CONCESSION
6800 BRINGLE FERRY RD
SALISBURY NC

DRAWN BY: EKT
CHECKED BY: DRB
DATE: 01.23.20
PROJECT #: 1903

SHEET NUMBER
A7.2
OF: 15

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Finance Department
DATE: January 24, 2020
SUBJECT: Budget Amendments

Please see the attached budget amendments.

Please approve the attached budget amendments.

ATTACHMENTS:

Description	Upload Date	Type
Budget Amendments	1/28/2020	Backup Material

ROWAN COUNTY

TMENTAL REQUEST FOR BUDGET ACTION

TO: Finance Department

FROM: Health Department

EXPLANATION IN DETAIL: To disperse Healthy Rowan funds to match awarded funding.

Prepared by: Karla Aldridge CMD

Date: 1/8/2020

Reviewed:

BUDGET INFORMATION:

ACCOUNT TITLE	R/E	ACCOUNT #	INCREASE	DECREASE
Revenue-Restricted Local Grants	R	1155240-464099-52429	63775	
Salaries-Regular	E	1155240-510005-52429	24500	
Health Ins	E	1155240-520005-52429	4,980	
Medicare	E	1155240-520010-52429	358	
Retirement	E	1155240-520015-52429	2,208	
Social Security	E	1155240-520020-52429	1,520	
Workers Comp	E	1155240-520025-52429	198	
401 (k)	E	1155240-520030-52429	736	
Contracted Services	E	1155240-533001-52429	18,920	
Travel	E	1155240-558000-52429	1,000	
Office Supplies	E	1155240-561005-52429	300	
Printing	E	1155240-555000-52429	455	
Meeting/Training Food	E	1155240-582009-52429	775	
Non-cash Grant Awards	E	1155240-583053-52429	4,500	
DP Equipment	E	1155240-576020-52429	1,800	
Advertising	E	1155240-554000-52429	1,525	

DEPARTMENT HEAD	COUNTY MANAGER	ACCOUNTING USE ONLY
Approved: X	Approved:	Budget Revision # 07-236
Disapproved:	Disapproved:	Date Posted:
Amended:	Amended:	Group Number:
Date: 1-8-2020	Date:	Posted by:
Signature: Charles Dulce / BSH	Signature:	Approved by:

ROWAN COUNTY

DEPARTMENTAL REQUEST FOR BUDGET ACTION

TO: BUDGET OFFICER

FROM: Emergency Services

EXPLANATION IN DETAIL: Request to move funds from donations revenue account to donations expenditure account.

Prepared by: L Cooper
Date: 1/9/2020

BUDGET INFORMATION:

ACCOUNT TITLE	R/E	ACCOUNT #	INCREASE	DECREASE
Misc Donations	R	1144371-464900	290	
Donations Expenditures	E	1154371-583001	290	

DEPARTMENT HEAD		COUNTY MANAGER	ACCOUNTING USE ONLY
Approved: KM		Approved:	Budget Revision # 07-~~290~~ 187
Disapproved:		Disapproved:	Date Posted:
Amended:		Amended:	Group Number:
Date: 1/9/20		Date:	Posted by:
Signature: Lori M Cooper / SEH		Signature:	Approved by:

Rev 12-2006

ROWAN COUNTY

DEPARTMENTAL REQUEST FOR BUDGET ACTION

TO: BOARD OF COMMISSIONERS

FROM: SHERIFF

EXPLANATION IN DETAIL: RECOGNIZE FUNDS RECEIVED FROM THE SALISBURY-ROWAN COMMUNITY FOUNDATION DISCRETIONARY FUND, AND PLACE IN THE PROPER EXPENSE ACCOUNT. FUNDS DONATED FOR SHOP-WITH-A-COP PROGRAM.

Prepared by: Capt J C Sifford

Date: 12/31/2019

Reviewed:

ACCOUNT TITLE	R/E	ACCOUNT #	INCREASE	DECREASE
		6-464002		
MISC. RECEIPTS	R	1144410-~~489995~~	3,500	
SHERIFF;S CHRISTMAS CARING	E	1154410-583089	3,500	

DEPARTMENT HEAD	COUNTY MANAGER	ACCOUNTING USE ONLY
Approved:	Approved:	Budget Revision # 07-054
Disapproved:	Disapproved:	Date Posted:
Amended:	Amended:	Group Number:
Date:	Date:	Posted by:
Signature: X	Signature:	Approved by:

PEH

ROWAN COUNTY

DEPARTMENTAL REQUEST FOR BUDGET ACTION

TO: BOARD OF COUNTY COMMISSIONERS

FROM: FINANCE

EXPLANATION IN DETAIL: To budget additional FY20 JCPC funds awarded to Rowan County Program Providers.

Prepared by: Lisa Bevis
Date: 01/03/20
Reviewed:

BUDGET INFORMATION:

ACCOUNT TITLE		ACCOUNT #	INCREASE	DECREASE
DJJDP Program Revenues	R	1144402-434018	15,984	
DJJDP Program Expenditures	E	1154402-532023	15,984	

DEPARTMENT HEAD		COUNTY MANAGER	ACCOUNTING USE ONLY
Approved: ✓		Approved:	Budget Revision # 07-50
Disapproved:		Disapproved:	Date Posted:
Amended:		Amended:	Group Number:
Date: 1/15/20		Date:	Posted by:
Signature: R. Hendrick		Signature:	Approved by:

✓

ROWAN COUNTY

DEPARTMENTAL REQUEST FOR BUDGET ACTION

TO: BOARD OF COMMISSIONERS

FROM: SHERIFF

EXPLANATION IN DETAIL: RECOGNIZE $25 CHECK FOR DONATION TO CHRISTMAS FUND AND BUDGET TO PROPER EXPENSE ACCOUNT.

Prepared by: Capt J C Sifford

Date: 12/17/2019

Reviewed:

ACCOUNT TITLE	R/E	ACCOUNT #	INCREASE	DECREASE
Donations	R	1144410-464002	250	
SHERIFF'S CHRISTMAS CARING	E	1154410-583089	250	

DEPARTMENT HEAD	COUNTY MANAGER	ACCOUNTING USE ONLY
Approved:	Approved:	Budget Revision # 06-577
Disapproved:	Disapproved:	Date Posted:
Amended:	Amended:	Group Number:
Date:	Date:	Posted by:
Signature:	Signature:	Approved by:

EH

ROWAN COUNTY

DEPARTMENTAL REQUEST FOR BUDGET ACTION

TO: BOARD OF COUNTY COMMISSIONERS

FROM: Social Services

EXPLANATION IN DETAIL:
This amendment is to budget donations received in order to provide goods and services to our clients.

Prepared by: Kelly Johnson
Date: 12/5/2019

BUDGET INFORMATION:

ACCOUNT TITLE	R/E	ACCOUNT #	INCREASE	DECREASE
Donations-One Church One Child	E	33018-000-583002-000	~~$25,892~~ 40,816	
Donations-One Church One Child	R	33018-5312-464012-000	~~$25,892~~ 40,816	

1155312-583002
1145312-464012

DEPARTMENT HEAD	COUNTY MANAGER	ACCOUNTING USE ONLY
Approved: X	Approved:	Budget Revision # 06-373
Disapproved:	Disapproved:	Date Posted:
Amended:	Amended:	Group Number:
Date: 12-13-19	Date:	Posted by:
Signature: Donna F Fayko / DEH	Signature:	Approved by:

ROWAN COUNTY

DEPARTMENTAL REQUEST FOR BUDGET ACTION

TO: BUDGET OFFICER

FROM: Rowan Transit

EXPLANATION IN DETAIL:

Increase to budget for these newly awarded Federal Section 5310 Enhanced Mobility of Seniors and Individuals with Disabilities Urban Transportation Grant Funds

**The BOC approved the grant agreement on 11/04/2019

NC - 2019

Prepared by: Kristy Cowden
Date: 12/11/2019

BUDGET INFORMATION:

ACCOUNT TITLE	E/R	ACCOUNT #	INCREASE	DECREASE
Federal Transportation Grant	R	1144521-431001-64527	104,000	
RTS Contract Transportation	R	1144521-425109-64527	26,000	
E & D Transportation	E	1154521-584005-64527	130,000	
		This grant is:		
		80% Federal (Reimbursed through City of Concord)		
		20% Local Match (from Contract Revenue)		NO COUNTY MATCH

DEPARTMENT HEAD		COUNTY MANAGER	ACCOUNTING USE ONLY
Approved:		Approved:	Budget Revision # 06-326
Disapproved:		Disapproved:	Date Posted:
Amended:		Amended:	Group Number:
Date:		Date:	Posted by:
Signature:		Signature:	Approved by:

ROWAN COUNTY

DEPARTMENTAL REQUEST FOR BUDGET ACTION

TO: BOARD OF COMMISSIONERS

FROM: SHERIFF

EXPLANATION IN DETAIL: RECOGNIZE CHECK FROM WALMART FOUNDATION AND PLACE IN THE SHERIFF'S CHRISTMAS CARING ACCOUNT FOR USE IN "THE SHOP WITH A COP" PROGAM.

Prepared by: Capt J C Sifford

Date: 12/9/2019

Reviewed:

ACCOUNT TITLE	R/E	ACCOUNT #	INCREASE	DECREASE
PUBLIC SAFETY DONATIONS	R	11444106-464002	2,500	
SHERIFF'S CHRISTMAS CARING	E	1154410-583089	2,500	

DEPARTMENT HEAD	COUNTY MANAGER	ACCOUNTING USE ONLY
Approved:	Approved:	Budget Revision # 06-208
Disapproved:	Disapproved:	Date Posted:
Amended:	Amended:	Group Number:
Date:	Date:	Posted by:
Signature:	Signature:	Approved by:

PSH

ROWAN COUNTY

DEPARTMENTAL REQUEST FOR BUDGET ACTION

TO: BOARD OF COUNTY COMMISSIONERS

FROM: FINANCE

EXPLANATION IN DETAIL: To de-obligate the Land Acquisition Services Award, ID #36244.56.10.3, budgeted for the Mid-Carolina Regional Airport. BOC rescinded the award on 11/18/19.

Prepared by: Lisa Bevis
Date: 12/02/19
Reviewed:

BUDGET INFORMATION:

ACCOUNT TITLE		ACCOUNT #	INCREASE	DECREASE
10.2 Land Acquisition	R	6344550-431604		100,000
Appropriated Fund Balance	R	6344550-495000		11,111
C/A-Land	E	6354550-571000		111,111

DEPARTMENT HEAD		COUNTY MANAGER	ACCOUNTING USE ONLY
Approved: ✓		Approved:	Budget Revision # 06-5
Disapproved:		Disapproved:	Date Posted:
Amended:		Amended:	Group Number:
Date: 12/02/19		Date:	Posted by:
Signature: P. Heidrick		Signature:	Approved by:

✓

ROWAN COUNTY
A COUNTY COMMITTED TO EXCELLENCE

130 West Innes Street - Salisbury, NC 28144
TELEPHONE: 704-216-8180 * FAX: 704-216-8195

MEMO TO COMMISSIONERS:

FROM: Carolyn Barger, Clerk to the Board
DATE: January 28, 2020
SUBJECT: Consider Approval of Board Appointments

ATTACHMENTS:

Description	Upload Date	Type
February Board Appointments	1/28/2020	Cover Memo

MONTHLY BOARD APPOINTMENTS
February 3, 2020
COMMISSION MEETING

AGRICULTURAL ADVISORY BOARD

Per the memorandum from Cooperative Extension Director, Amy-Lynn Albertson, the Agricultural Advisory Board (Board) did not meet for close to four (4) years. As a result, the advisory board member's terms expired and Ms. Albertson asked the previous members to reapply. Those members were reappointed; however, most have now served two (2) terms and are not eligible for reappointment.

In order to stagger the terms of the Board and to avoid losing the majority of the members at the same time, Ms. Albertson is asking the Commissioners to consider extending and ratifying the board members terms as listed below:

- Kim Starnes- Current Chair, please extend term for 2 years beginning 2/1/2020
- Randy Elium- extend 1 year beginning 5/1/2020
- Mark Mauldin- please extend term 2 years beginning 1/1/2020
- Mark Hammill- Will reapply for 2nd 3 year term beginning 6/1/2020
- Michael Shepherd- recently appointed for 3 years on 1/6/2020 (keep as is) replacing Darrell Nichols

LIBERTY VOLUNTEER FIRE DEPARTMENT FIRE COMMISSIONERS

Alan King applied for reappointment for a term that will expire June 30, 2021.

LOCAL EMERGENCY PLANNING COMMITTEE

Steve Stroud from the Town of China Grove applied to fill the vacant Elected Official's seat. There are no term dates for this Committee.

NURSING HOME ADVISORY COMMITTEE

Robbie Dale Pickrel applied to fill a vacant seat. If appointed, the term would expire July 31, 2022.

PLANNING BOARD

John Leatherman applied for reappointment for a three-year term that would expire December 31, 2022.

Michael Harrill applied for a two-year term that would expire December 31, 2021.

**Please note there are approximately 54 vacancies on various County Boards.

Agricultural Advisory Board Board

Name	Date	Boards	Address	Contact	Status
Randall Dale Elium	1/21/2020	Agricultural Advisory Board BoC Meeting	2085 Lake Road Salisbury, NC 28146 **Resident:** Yes	**Phone:** 704-213-2661 **Email:** eliumrandy@gmail.com	Validated
Mark Mauldin	1/21/2020	Agricultural Advisory Board BoC Meeting	385 Winterlocken Rd Salisbury, NC 28144 **Resident:** Yes **Ward/District:** ?	**Phone:** 704-202-0122 **Email:** mmauldin@hmsracing.com	Validated
Mr Kim Starnes	1/3/2020	Agricultural Advisory Board BoC Meeting	1020 Leonard Rd Salisbury, NC 28146	**Phone:** 704-640-5875 **Email:** KIM-4SFARMS@CAROLINA.RR.COM	Validated

Liberty Volunteer Fire Department Fire Commissioners Board

Name	Date	Boards	Address	Contact	Status
Fire Commissioner Liberty Alan King	1/6/2020	Liberty Volunteer Fire Department Fire Commissioners BoC Meeting	365 King Road Salisbury, NC 28146 **Resident:** Yes **Ward/District:** Liberty	**Phone:** 7042455379 **Email:** KINGAD55@WINDSTREAM.NET	Validated

Local Emergency Planning Committee Board

Name	Date	Boards	Address	Contact	Status
Mr Steven C Stroud	12/11/2019	Local Emergency Planning Committee BoC Meeting	412 West Ketchie St. China Grove, NC 28023	**Phone:** 7042020477 **Email:** stevestroud@carolina.rr.com	Validated

Nursing Home Advisory Committee Committee

Name	Date	Boards	Address	Contact	Status
Ms Robbie Dale Pickrel, Ms	1/14/2020	Nursing Home Advisory Committee BoC Meeting	334 cress school road salisbury, NC 28147 **Resident:** Yes	**Phone:** 704-650-9598 **Email:** robbiepickrel@windstream.net	Validated

Planning Board Board

Name	Date	Boards	Address	Contact	Status
John F Leatherman	12/3/2019	Planning Board BoC Meeting	120 Gregory Rd salisbury, NC 28147 **Resident:** Yes **Ward/District:** North Locke	**Phone:** 704 213-0752 **Email:** john@johnleatherman.net	Validated

Barger, Carolyn M

From: Albertson, Amy-Lynn
Sent: Tuesday, January 28, 2020 12:40 PM
To: Barger, Carolyn M
Subject: Agriculture Advisory Board

Rowan County Board of Commissioners:

The Rowan Agricultural Advisory Board did not meet from 2013-2016. Because the board did not meet all board members terms had expired. In 2017 I asked all previous board members to reapply and new terms were started. The issue is that now in 2020 the entire board is set to expire, and cannot serve another term as they have already served two terms (13-16, 17-20). I would like to respectfully ask the board to extend two of my board members terms 2 years, and 1 member 1 year so as to stagger their terms again as was originally planned when the ordinance Ch. 8.5 was written for the County.

Kim Starnes- Current Chair, please extend term for 2 years beginning 2/1/2020
Randy Elium- extend 1 year beginning 5/1/2020
Mark Mauldin- please extend term 2 years beginning 1/1/2020
Mark Hammil- Will reapply for 2nd 3 year term beginning 6/1/2020
Michael Shepherd- newly appointed for 3 years on 1.6.2020 (keep as is) replacing Darrell Nichols

Thank you,
Amy-Lynn Albertson

--
Amy-Lynn Albertson
County Extension Director
Rowan County Center
N.C. Cooperative Extension

704-216-8970
(c) 336-225-3114
rowan.ces.ncsu.edu

NC COOPERATIVE EXTENSION

- # ARTICLE II. - AGRICULTURAL ADVISORY BOARD

SHARE LINK TO SECTIONPRINT SECTIONDOWNLOAD (DOCX) OF SECTIONSEMAIL SECTIONCOMPARE VERSIONS

- ## Sec. 8.5-21. - Created.

SHARE LINK TO SECTIONPRINT SECTIONDOWNLOAD (DOCX) OF SECTIONSEMAIL SECTIONCOMPARE VERSIONS

A county agricultural advisory board, to consist of five (5) members appointed by the board of commissioners, is hereby established.

(Amend. of 3-7-11)

- ## Sec. 8.5-22. - Membership.

(a)

Requirements. Each board member shall be a county resident. Three (3) of the five (5) members shall be actively engaged in farming and shall be selected from the names of individuals submitted to the board of commissioners by the soil and water conservation district, the cooperative extension advisory council, the farm service agency or by application to the board of commissioners.

(b)

Tenure. The members are to serve for terms of three (3) years, except that the initial board is to consist of one (1) appointee for a term of one (1) year, two (2) appointees for terms of two (2) years, and two (2) appointees for terms of three (3) years. Thereafter, all appointments are to be for a maximum of two (2) three-year terms or until replacement has been appointed.

(c)

Vacancies. Any vacancy on the agricultural advisory board is to be filled by the board of commissioners for the remainder of the unexpired term.

(d)

Removal for cause. Agricultural advisory board members may be removed by the board of commissioners at any time for failure to attend twenty-five (25) percent or three (3) consecutive meetings within any twelve-month period (excepting excused absence) or for any other good cause related to performance of duties or when no longer actively engaged in farming during tenure for those appointed as a farming representative pursuant to subsection 8.5-22(a).